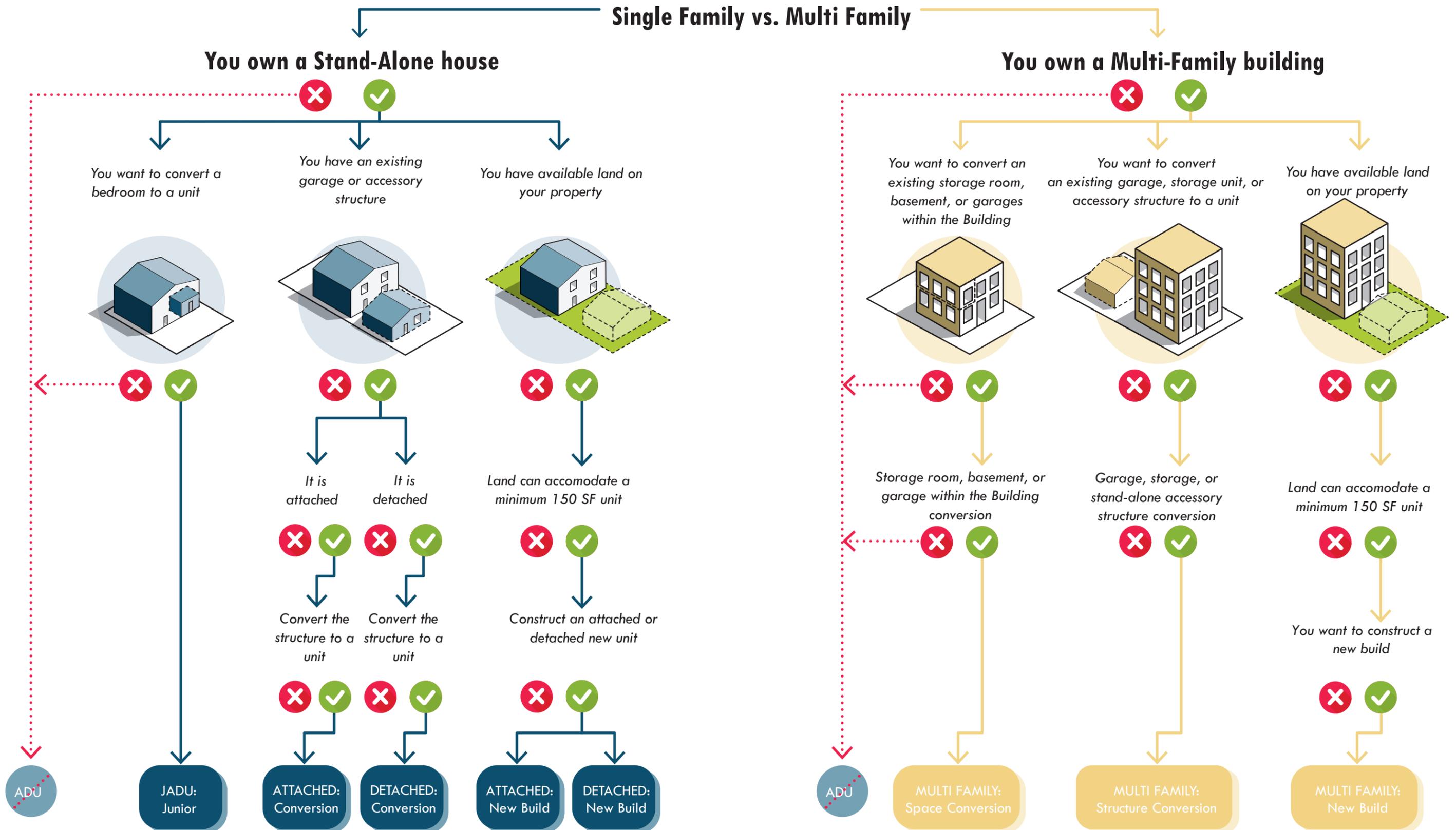


CAN I BUILD AN ADU?

See if an ADU is the right fit for you!

What is an ADU?

An accessory dwelling unit, or ADU, is a smaller, independent residential dwelling unit located on the same lot as a stand-alone single-family home or multi-family building that is secondary to the main residence.



SELF ASSESSMENT CHECKLIST

Steps below identify the general process a homeowner may take when deciding to build and ADU on their property.



1

Identify ADU Type

After determining the ADU type(s) right for you, select one or more of the following:

SINGLE FAMILY

- JUNIOR JADU
- ATTACHED Conversion
- DETACHED Conversion
- ATTACHED New Build
- DETACHED New Build

MULTI FAMILY

- Space Conversion
- Structure Conversion
- New Build

Note: An ADU and JADU may be allowed on each residentially zoned lot developed with a single unit. Lots developed with multifamily properties may have ADUs equal up to 25% of the existing multifamily dwelling units.

2

Development Standards

Allow the appropriate development standards for structure-to-structure conditions and street conditions

- Minimum and Maximum unit size
- Building setbacks
- Lot coverage
- Height restrictions
- Accessibility
- Parking



3

Application

An ADU or JADU on an existing legal lot shall be subject to review by Planning Staff

- Application for approval
- Payment for application
- Required documents include, but are not limited to:
 - Site Plan, Floor Plans
 - Elevations and Sections



4

Confirm Zoning Guideline

1-2 ADU's permitted in single or multiple family residential zones, on properties where there is one existing residence

- Confirm status of existing structures
- Confirm unit is not intended for sale
- Confirm if parking is required



5

Design

Design of ADUs shall be architecturally compatible with primary residence, including style, color, and materials.

- Design meets development standards
- Elevations
- Conceptual Landscape Plan
- Color and Material Board



6

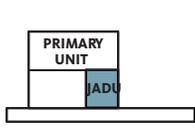
Review

Administrative review after meeting development standards, as needed

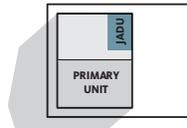
- Final Design Review
- Certificate of Compatibility (if needed)
- Building Permit Review
- Covenant Agreement for JADUs
- Construction Begins



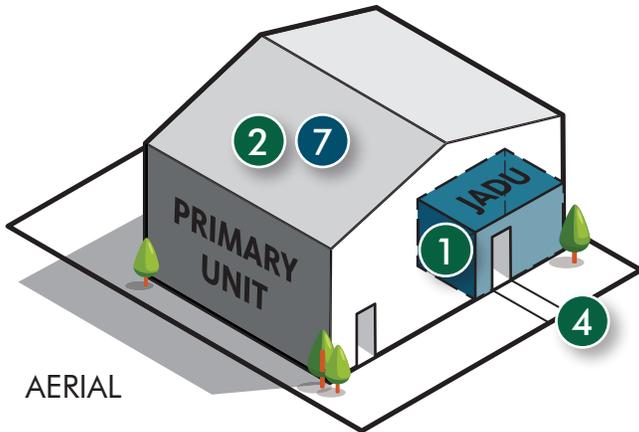
JADU Junior



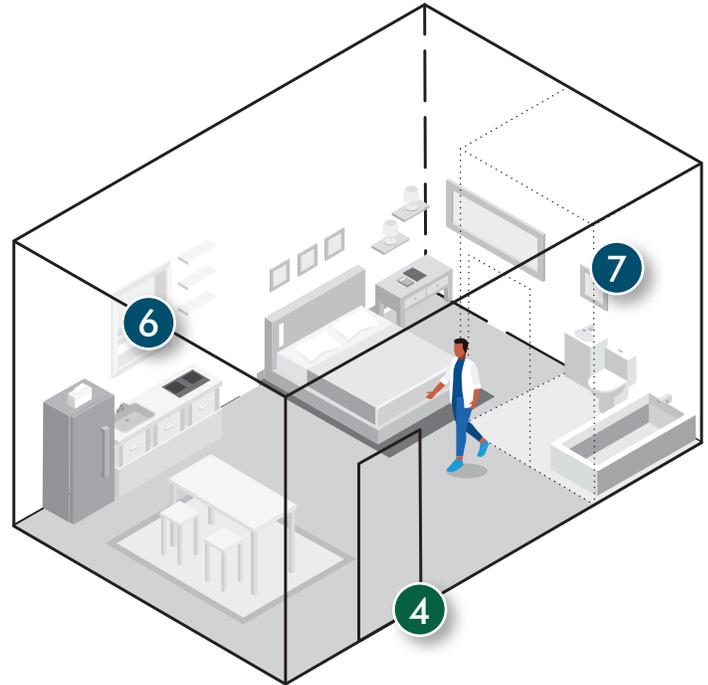
ELEVATION



PLAN



AERIAL



SITE

DEVELOPMENT STANDARDS REQUIRED FOR THE OVERALL PROPERTY

- 1 Unit Size (1 per lot)**
 Minimum Size: 150 SF
 Maximum Size: 500 SF
 May include up to 150 SF addition for JADU. The Junior ADU must be contained within the legally permitted walls of a primary residence.
- 2 Occupancy**
 Owner occupancy required within primary residence or JADU.
- 3 Parking**
 N/A
- 4 Access**
 Independent entrance

EXTERIOR

DEVELOPMENT STANDARDS REQUIRED FOR THE EXTERIOR OF ACCESSORY DWELLING UNIT

- 5 Height**
 N/A

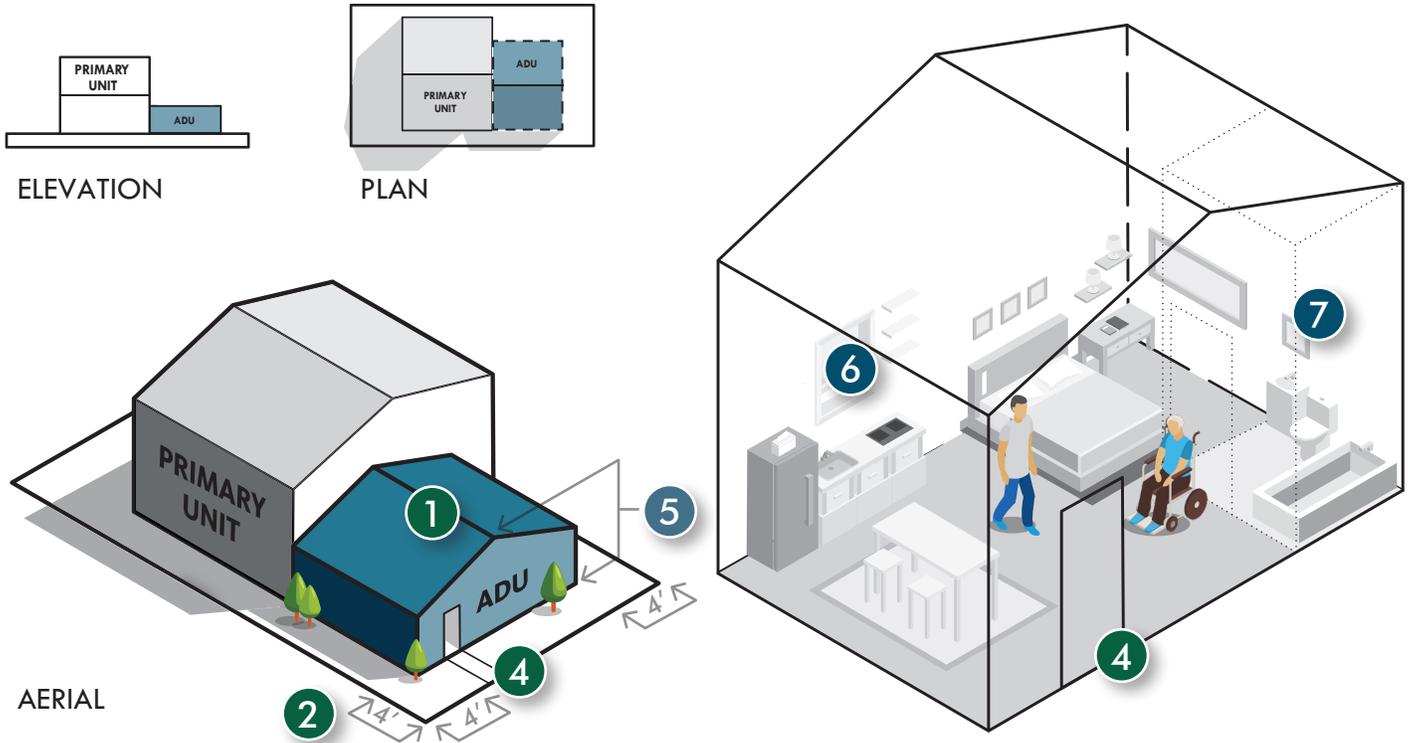
INTERIOR

DEVELOPMENT STANDARDS REQUIRED FOR THE INTERIOR OF ACCESSORY DWELLING UNIT

- 6 Kitchen**
 Cooking facility Appliances
 Food preparation counter
 Storage cabinets
- 7 Bathroom**
 Within JADU or shared with primary residence

Note: The following is a general guideline, specific zones and parcels may differ as ADUs are subject to applicable development standards of the underlying zone, such as total lot coverage of structures

ADU Attached: Conversion



SITE

DEVELOPMENT STANDARDS REQUIRED FOR THE OVERALL PROPERTY

1 Unit Size (1 per lot)

Minimum Size: 150 SF
Maximum Size: N/A

2 Setback

No setbacks are required for legally permitted existing structures, otherwise 4' minimum required.

3 Parking

N/A

4 Access

Independent entrance

EXTERIOR

DEVELOPMENT STANDARDS REQUIRED FOR THE EXTERIOR OF ACCESSORY DWELLING UNIT

5 Height

25' max. N/A if the existing structure is legally permitted.

INTERIOR

DEVELOPMENT STANDARDS REQUIRED FOR THE INTERIOR OF ACCESSORY DWELLING UNIT

6 Kitchen

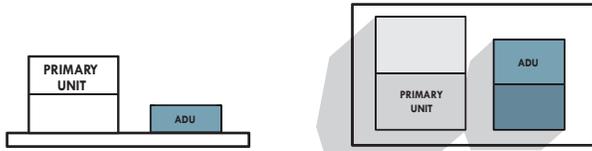
Cooking facility Appliances
Food preparation counter
Storage cabinets

7 Bathroom

Independent Bathroom from Primary Residence

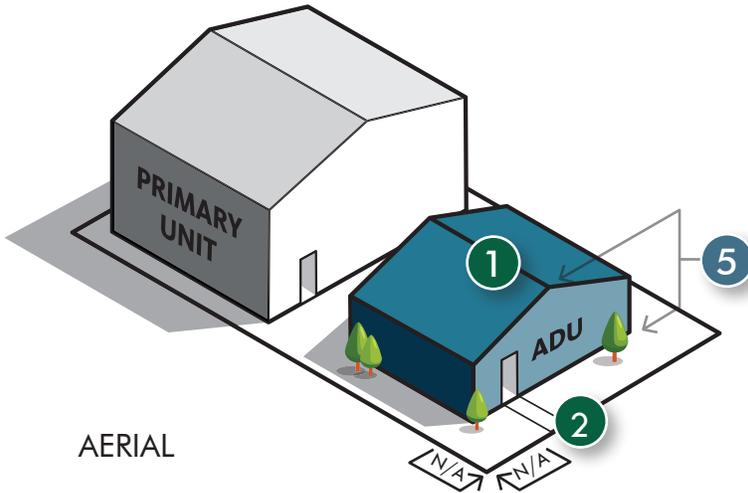
Note: The following is a general guideline, specific zones and parcels may differ as ADUs are subject to applicable development standards of the underlying zone, such as total lot coverage of structures

ADU Detached: Conversion

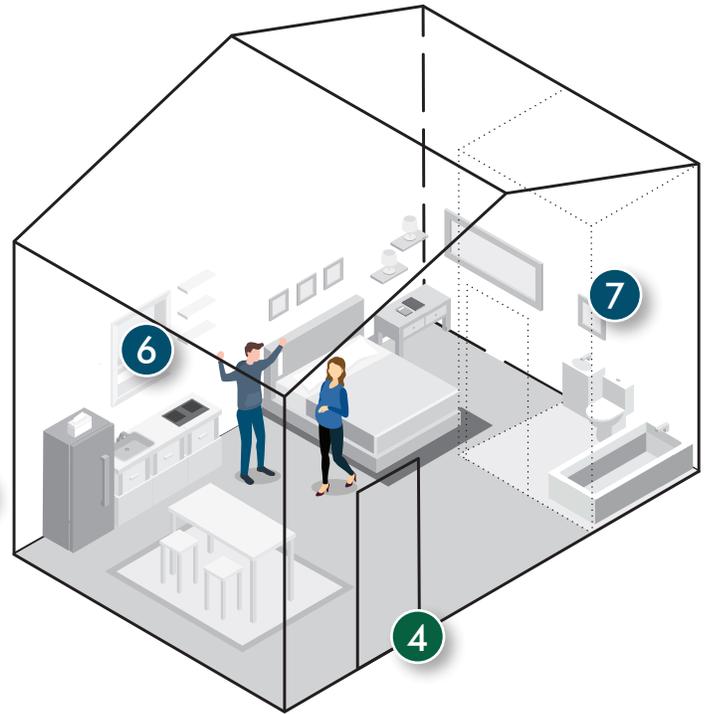


ELEVATION

PLAN



AERIAL



SITE

DEVELOPMENT STANDARDS REQUIRED FOR THE OVERALL PROPERTY

1 Unit Size (1 per lot)

Minimum Size: 150 SF
Maximum Size: N/A

2 Setback

No setbacks are required for legally permitted existing structures.

3 Parking

N/A

4 Access

Independent entrance

EXTERIOR

DEVELOPMENT STANDARDS REQUIRED FOR THE EXTERIOR OF ACCESSORY DWELLING UNIT

5 Height

16' max. 18' max if
1/2 mile from transit
corridor. N/A if existing
structure is legally
permitted.

INTERIOR

DEVELOPMENT STANDARDS REQUIRED FOR THE INTERIOR OF ACCESSORY DWELLING UNIT

6 Kitchen

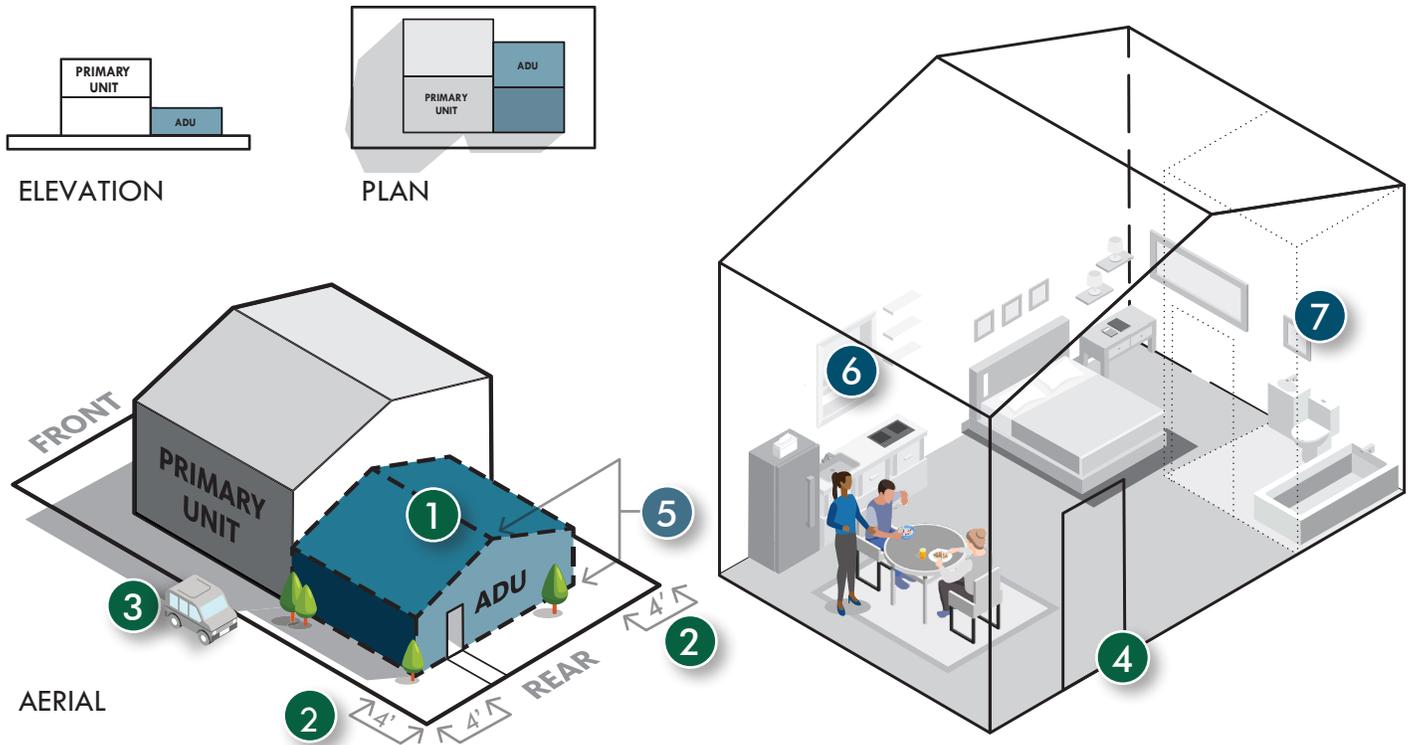
Cooking facility Appliances
Food preparation counter
Storage cabinets

7 Bathroom

Independent Bathroom from
Primary Residence

Note: The following is a general guideline, specific zones and parcels may differ as ADUs are subject to applicable development standards of the underlying zone, such as total lot coverage of structures

ADU Attached: New Build



SITE

DEVELOPMENT STANDARDS REQUIRED FOR THE OVERALL PROPERTY

1 Unit Size (1 per lot)

Minimum Size: 150 SF
Maximum Size: 1,200 SF

Up to 50% of the main single-family residence shall be allowed, or 1,200 SF, whichever is less.

2 Setback

4' setback required for side and rear. The underlying zone setbacks apply for the front; this may be reduced for 800 SF unit.

3 Parking

1 additional space unless the ADU is in a Historic Property, or within 1/2 mile walking of public transit, or on-street parking via a permit, or within 1 block of a car share.

4 Access

Independent entrance

EXTERIOR

DEVELOPMENT STANDARDS REQUIRED FOR THE EXTERIOR OF ACCESSORY DWELLING UNIT

5 Height

25' or standards of the underlying zone, whichever is lower.

INTERIOR

DEVELOPMENT STANDARDS REQUIRED FOR THE INTERIOR OF ACCESSORY DWELLING UNIT

6 Kitchen

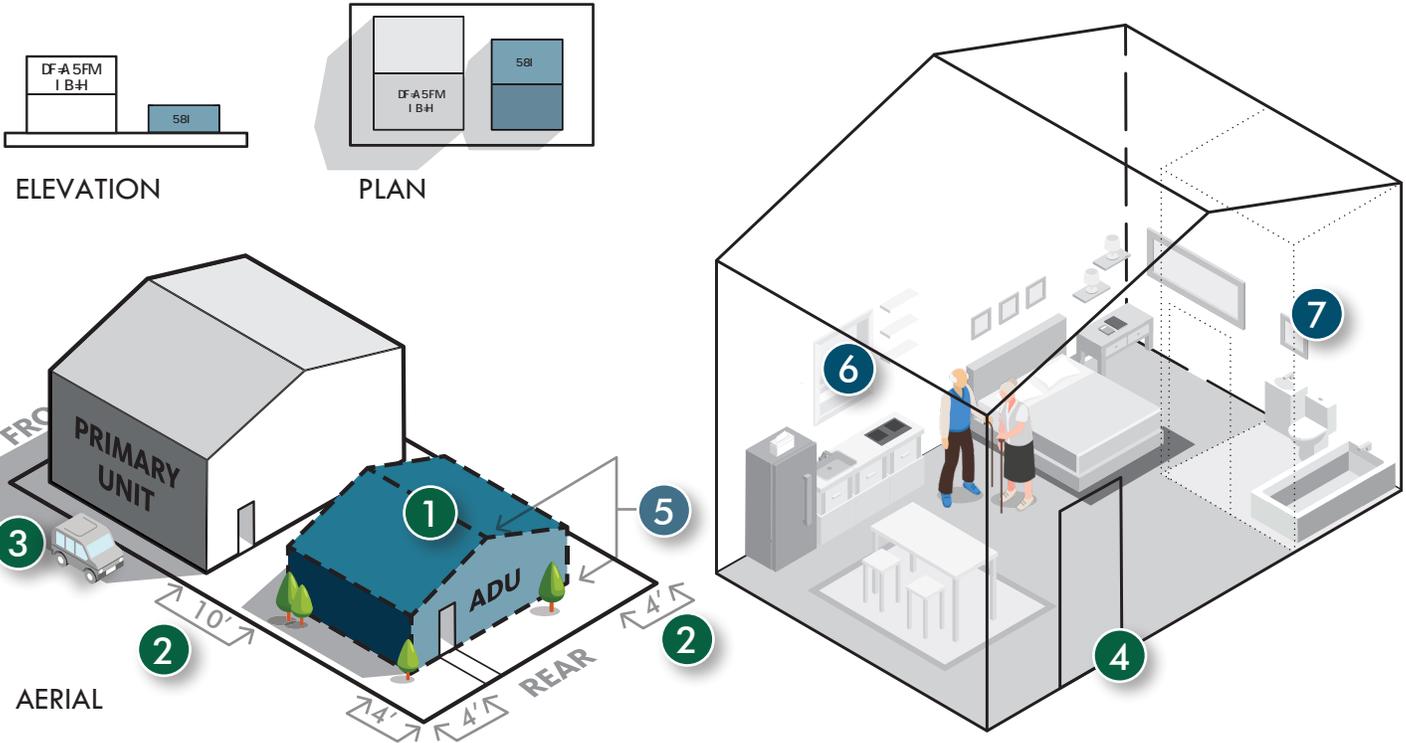
Cooking facility
Appliances
Food preparation counter
Storage cabinets

7 Bathroom

Independent Bathroom from Primary Residence

Note: The following is a general guideline, specific zones and parcels may differ as ADUs are subject to applicable development standards of the underlying zone, such as total lot coverage of structures

ADU Detached: New Build



SITE

DEVELOPMENT STANDARDS REQUIRED FOR THE OVERALL PROPERTY

- 1 **I b]hG]nY'f]p%dyf`chik**
Minimum Size: 150 SF
Maximum Size: 1,200 SF

- 2 **GYWUW**
4' setback required for side and rear. 10' minimum setback between buildings. The underlying zone setbacks shall apply for the front, but may be reduced if prevents the creation of an 800 SF unit.

- 3 **DUF_]b[%UXX]h]cbU`gdUW`i b`Ygg]hY`58I`]g]b`U`<]gcf]MDfcdYfmz`cf`k]h]b`%#&`a]Y`k`U`_]b[`cZ`di`V]M]f]Ubg]h]z`cf`cb]gf]YYhdUf_]b[`j]U`U`dYfa]h]cf`k]h]b`%V`cW`cZ`U`Wf`g]UfY.**

- 4 **5W]gg**
b]XYdYbXYbhYbhfUbW

EXTERIOR

DEVELOPMENT STANDARDS REQUIRED FOR THE EXTERIOR OF ACCESSORY DWELLING UNIT

- 5 **<Y][\h**
16' maximum. 18' allowed if located within 1/2 mile of a high quality transit corridor.

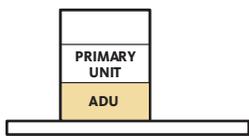
INTERIOR

DEVELOPMENT STANDARDS REQUIRED FOR THE INTERIOR OF ACCESSORY DWELLING UNIT

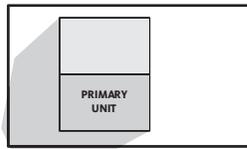
- 6 **Kitchen**
Cooking facility
Appliances
Food preparation counter
Storage cabinets
- 7 **Bathroom**
Independent Bathroom from Primary Residence

Note: The following is a general guideline, specific zones and parcels may differ as ADUs are subject to applicable development standards of the underlying zone, such as total lot coverage of structures

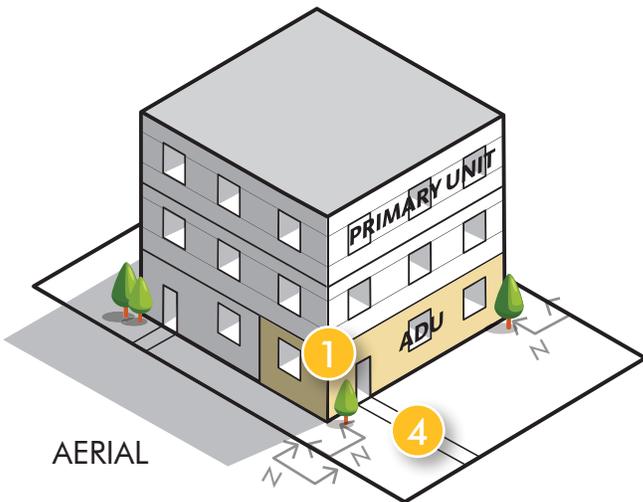
MULTI FAMILY Space Conversion



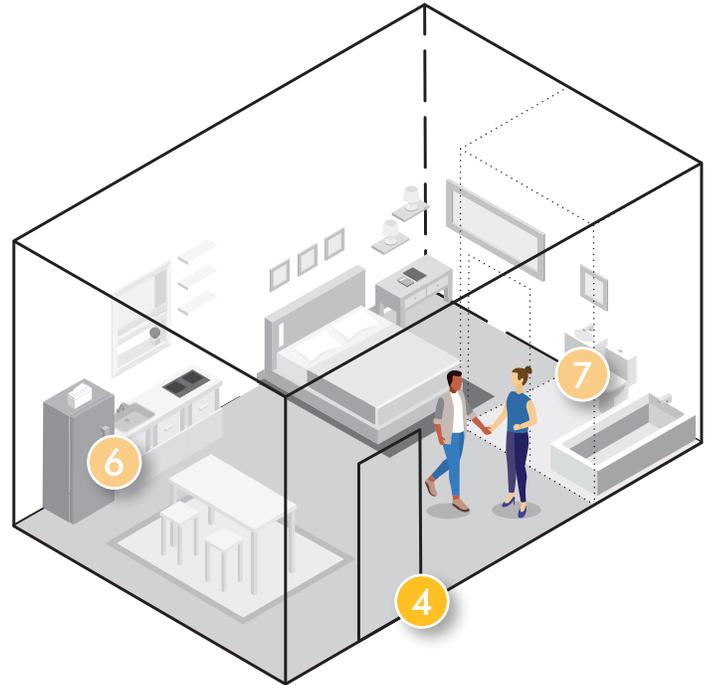
ELEVATION



PLAN



AERIAL



SITE

DEVELOPMENT STANDARDS REQUIRED FOR THE OVERALL PROPERTY

- 1 Unit(s)**
Number of ADUs: 1 ADU or up to 25% of the existing number of multi-family units within legally permitted existing structures that are not used as livable space, including, but not limited to, storage rooms, boiler rooms, passageways, attics, basements, or garages.
- 2 Setback**
No setbacks for legally permitted existing structures.
- 3 Parking**
When a garage, carport, or covered parking structure is converted no replacement parking required. However, for other space conversions, 1 additional space is required unless the ADU is in a Historic Property, within 1/2 mile walking of public transit, on-street parking via a permit, or within 1 block of a car share.
- 4 Access**
Independent entrance

EXTERIOR

DEVELOPMENT STANDARDS REQUIRED FOR THE EXTERIOR OF ACCESSORY DWELLING UNIT

- 5 Height**
N/A

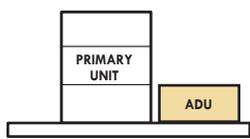
INTERIOR

DEVELOPMENT STANDARDS REQUIRED FOR THE INTERIOR OF ACCESSORY DWELLING UNIT

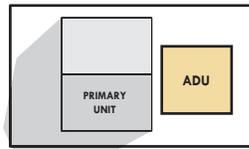
- 6 Kitchen**
Cooking facility Appliances
Food preparation counter
Storage cabinets
- 7 Bathroom**
Independent Bathroom from other units

Note: The following is a general guideline, specific zones and parcels may differ as ADUs are subject to applicable development standards of the underlying zone, such as total lot coverage of structures

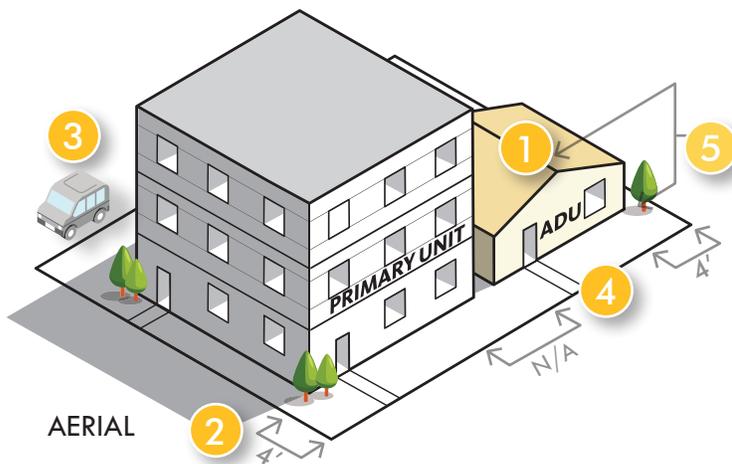
MULTI FAMILY Structure Conversion



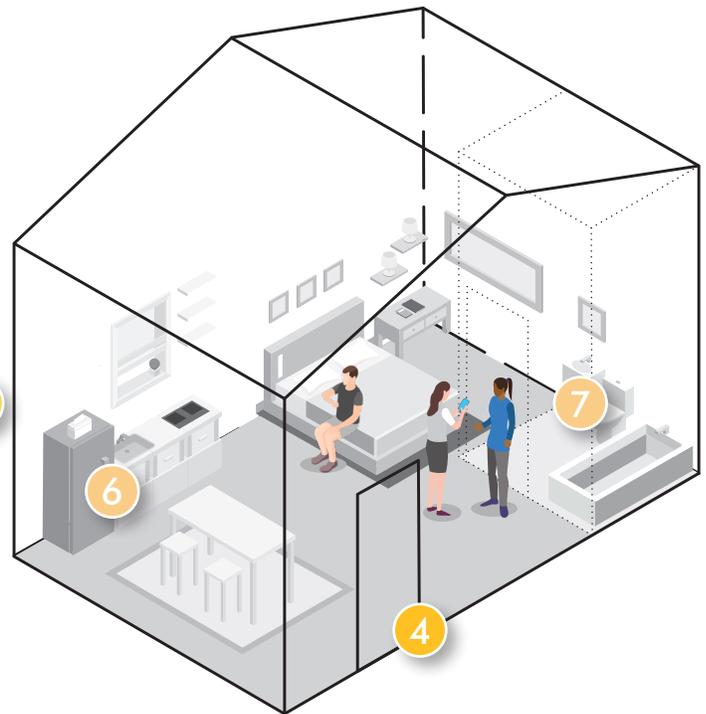
ELEVATION



PLAN



AERIAL



SITE

DEVELOPMENT STANDARDS REQUIRED FOR THE OVERALL PROPERTY

- 1 Unit(s)**
Number of ADUs: 1 ADU or up to 25% of the existing number of multi-family units (Up to 2 new detached ADU) within legally permitted existing structures that are not used as livable space, including, but not limited to, storage rooms, boiler rooms, passageways, attics, basements, or garages.
- 2 Setback**
4' setback minimum for side and rear. No setback requirement from primary residence.
- 3 Parking**
When a garage, carport, or covered parking structure is converted no replacement parking required. However, for other space conversions, 1 additional space is required unless the ADU is in a Historic Property, within 1/2 mile walking of public transit, on-street parking via a permit, or within 1 block of a car share.
- 4 Access**
Independent entrance

EXTERIOR

DEVELOPMENT STANDARDS REQUIRED FOR THE EXTERIOR OF ACCESSORY DWELLING UNIT

- 5 Height**
16' maximum. 18' allowed if 1/2 mile from transit corridor or if multi-story.

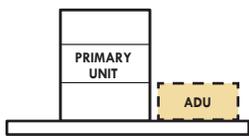
INTERIOR

DEVELOPMENT STANDARDS REQUIRED FOR THE INTERIOR OF ACCESSORY DWELLING UNIT

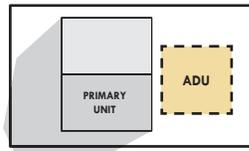
- 6 Kitchen**
Cooking facility Appliances
Food preparation counter
Storage cabinets
- 7 Bathroom**
Independent Bathroom

Note: The following is a general guideline, specific zones and parcels may differ as ADUs are subject to applicable development standards of the underlying zone, such as total lot coverage of structures

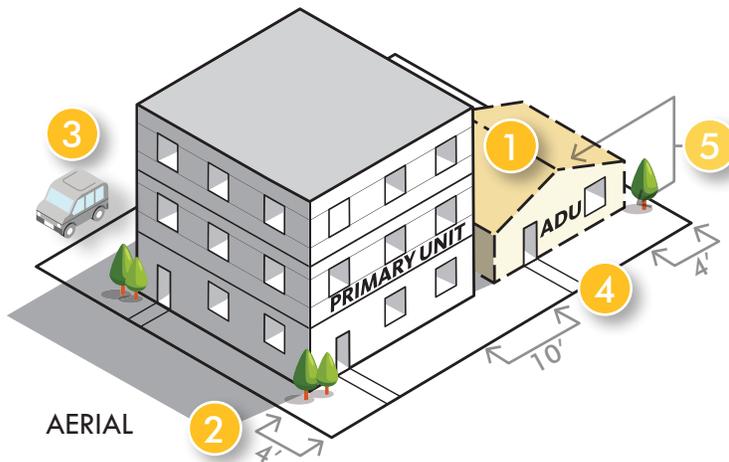
MULTI FAMILY New Build



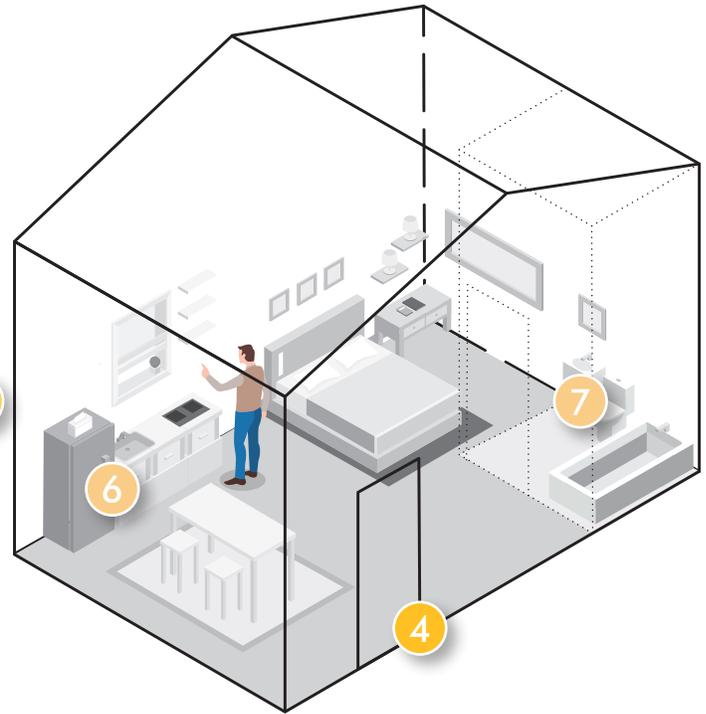
ELEVATION



PLAN



AERIAL



SITE

DEVELOPMENT STANDARDS REQUIRED FOR THE OVERALL PROPERTY

- 1 Unit(s)**
Number of ADUs: 1 ADU or up to 25% of the existing number of multi-family units (Up to 2 new detached ADU)
- 2 Setback**
4' setback minimum for side and rear. 10' setback minimum from primary.
- 3 Parking**
1 additional space unless the ADU is in a Historic Property, or within 1/2 mile walking of public transit, or on-street parking via a permit, or within 1 block of a car share.
- 4 Access**
Independent entrance

EXTERIOR

DEVELOPMENT STANDARDS REQUIRED FOR THE EXTERIOR OF ACCESSORY DWELLING UNIT

- 5 Height**
16' maximum. 18' allowed if 1/2 mile from transit corridor or if multi-story.

INTERIOR

DEVELOPMENT STANDARDS REQUIRED FOR THE INTERIOR OF ACCESSORY DWELLING UNIT

- 6 Kitchen**
Cooking facility Appliances
Food preparation counter
Storage cabinets
- 7 Bathroom**
Independent Bathroom

Note: The following is a general guideline, specific zones and parcels may differ as ADUs are subject to applicable development standards of the underlying zone, such as total lot coverage of structures