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# **TOMLINSON PARK SPECIFIC PLAN**

**Specific Plan No. SP 99-04**

**Prepared For:**

City of Brea  
Development Services Department, Planning Division  
Civic & Cultural Center  
Number One Civic Center Circle  
Brea, CA 92621-5758

**Applicant:**

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**In association with:**

Corcoran & Corcoran Architects  
TetraTech/CDC Engineering  
Wedin Enterprises Inc.

**Approved and Adopted:**

March 20, 2001

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park will be a public park benefitting future Tomlinson Park residents as well as existing Brea residents. There is excellent perimeter circulation and parking located immediately adjacent to the park. The park space is designed so that there is residential frontage across the street from the park. The high visibility of the park will allow future residents to view park activities thereby increasing the availability of adult supervision and the feeling of safety. It also allows for strong interaction between the new residents creating a strong sense of neighborhood.

The site plan is patterned after a "Traditional Neighborhood Design" (TND). This has been done to allow greater variety in the street scene and avoid the look and feel of a typical subdivision. Particular attention has been given to the placement of garages with 33 percent of the largest homes, 43 percent of the mid-sized homes and 100 percent of the smallest homes having garages to the rear of the lots. In addition, 33 percent of the largest homes may have turn-in garages. This design will result in a more interesting and visually stimulating neighborhood that encourages a variety of architectural designs and provides an enhanced pedestrian environment.

The authority for preparation of specific plans is found in the California Government Code, Section 65450, et seq. The law allows preparation of specific plans based on the General Plan, as may be required for the systematic execution of the General Plan and further allows for their review and adoption.

**1.1 INTRODUCTION**

The Tomlinson Park Specific Plan provides the City of Brea with a set of plans, development regulations and policies for guiding the orderly development of 38.8 acres located within the City of Brea, Orange County, California. The Tomlinson Park Specific Plan provides for the development of residential and recreational land uses. The residential neighborhood shall replace the existing Village Nursery which currently occupies the project site. The Tomlinson Park Specific Plan will establish the development regulations, policies and site development standards to implement the Land Use Plan as ultimately approved by the Brea City Council. The Land Use Plan defines more specific land uses for the site consistent with the General Plan and Zoning Ordinance. This Specific Plan is regulatory, adopted by ordinance, and upon adoption will be consistent with the City of Brea General Plan.

The project site is located in the northwest section of the City of Brea, approximately two miles west of the SR-57 Freeway. The 38.8-acre site is generally bounded by West Central Avenue on the south, Berry Street on the east, and single-family residential tracts on the north and west. The site is located within an urbanized area of northeast Orange County. The site is surrounded by residential development to the north and west, an industrial park to the south, and a mobile home park to the east.

The Tomlinson Park Specific Plan provides for residential development under the Specific Plan designation contained in the adopted City of Brea General Plan. The Specific Plan contains development controls to provide the City of Brea with assurances that the site area will be built out as planned. To ensure that the design criteria are adhered to, a set of conceptual designs are included within this document. These designs encompass project planning design, landscaping, architecture, signage, lighting and community character. Future phases of residential development will reflect the same theme and design styles established in these detailed designs.

**1.2 PROJECT SUMMARY**

The proposed project consists of a Specific Plan to allow for the development of 231 single-family residential homes, a 4.1 acre public park, and a 0.5 acre private recreational facility on the 38.8 acre site. In addition, a maximum of nine lots may also provide an accessory carriage unit to be built as optional rentals on the 35' x 73' lots. The floor space that would normally be built as a part of the unit can instead be built as a rental unit at the option of the builder. Of the 231 total homes, a total of 63 units have approximate lot sizes of 35' x 73' (2,555 s.f.), 92 units have lot sizes of approximately 44' x 70' (3,080 s.f.), and 76 units have approximate lot sizes of 50' x 84' (4,200 s.f.). The average density for the project, including the nine optional carriage units, is 6.9 dwelling units per gross acre (not including the public park). The site plan has been designed to respond to the market demand for lot sizes, square footage, and sales prices of homes as well as to provide a range of housing types within a Traditional Neighborhood Design (TND). Each interior street has a view of the park while traveling within the Specific Plan area. The centrally located public park site creates a major scenic vista (over 700 feet deep) upon entering and exiting the project. The 4.1 acre

### **2.1 PURPOSE AND INTENT**

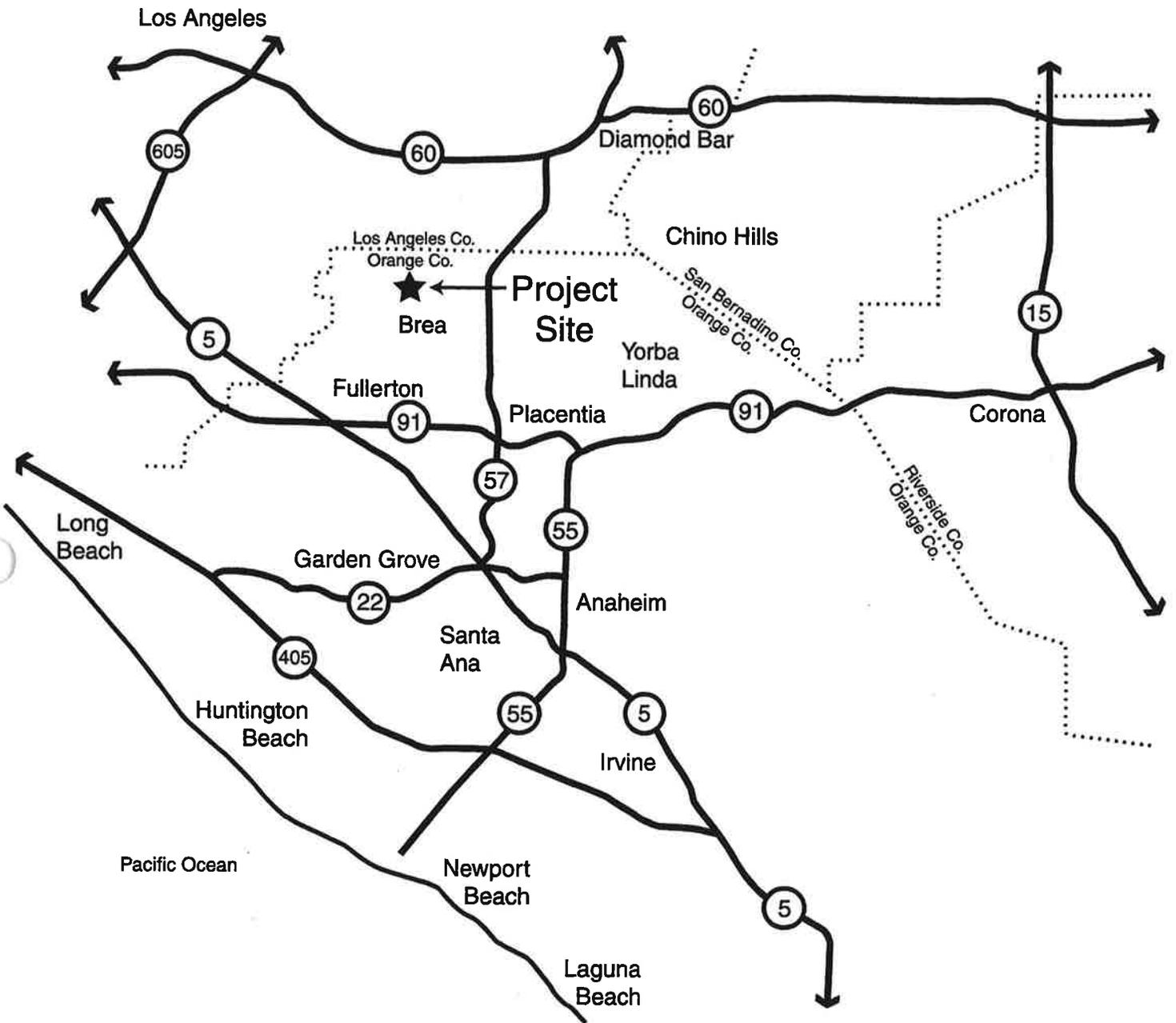
The purpose of the Tomlinson Park Specific Plan is to allow for the development of a maximum of 231 single-family residential homes, a maximum of nine carriage unit rentals, a 4.1-acre public park, and 0.5 acre private recreation facility within the city limits of Brea. The planned development will replace the Village Nursery previously located on-site.

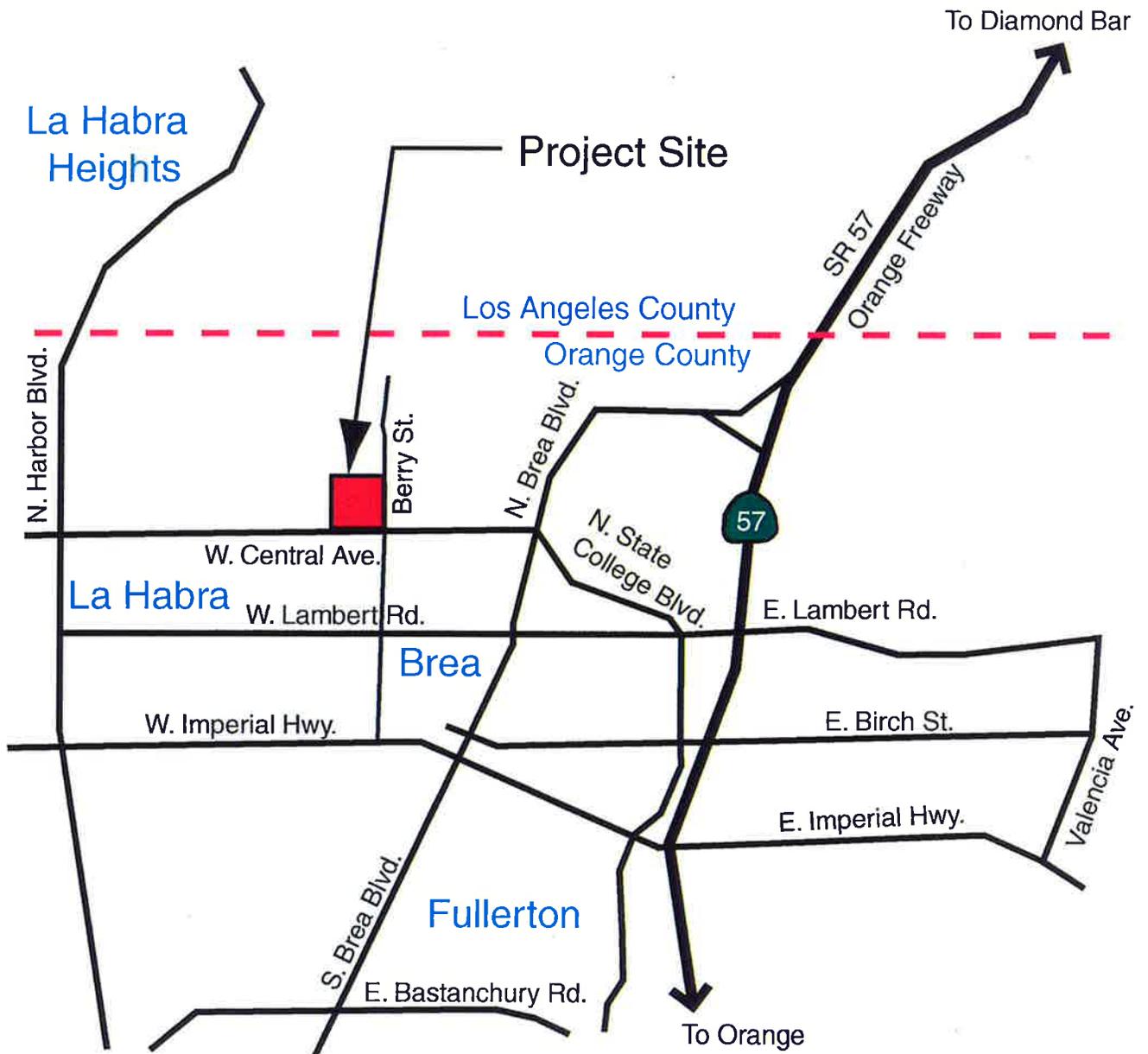
Specific Plan documents implement a City's General Plan through the provision of a more detailed version of the General Plan for a specified area. The Specific Plan articulates planning considerations and imposes regulations and/or controls for the project area. Responsible planning is ensured through the adoption of a development control mechanism that reflects thorough land use planning. A suitable development control mechanism is the Specific Plan, which when adopted by the City of Brea serves both a planning function and a regulatory function.

The adoption of the Tomlinson Park Specific Plan will establish the type, location, intensity and character of development and the required infrastructure in order for development to occur. The Specific Plan will also guide development in order to respond to the physical constraints and environmental sensitivities of the site, coordinate the mix of residential product types and provide plans for grading, circulation, drainage and recreation. To ensure that the design criteria are adhered to, detailed designs are incorporated herein.

### **2.2 PROJECT LOCATION**

The City of Brea is situated in North Orange County, California, adjacent to both San Bernardino and Los Angeles Counties. Brea is approximately 30 miles southeast of downtown Los Angeles by freeway as shown on Exhibit 2-1. The Tomlinson Park Specific Plan area is located in the northwest section of the City, approximately two miles west of the Orange (SR-57) Freeway. The 38.8-acre site previously occupied by the Village Nursery. Improvements within the site include several greenhouses and buildings associated with the nursery. As shown on Exhibit 2-2, the 38.8-acre site is generally bounded by West Central Avenue on the south, Berry Street on the east, and residential tracts on the north and west. As shown on Exhibit 2-3, the site is surrounded by single family residential development to north and west, an industrial park to the south, and a mobile home park to the east.





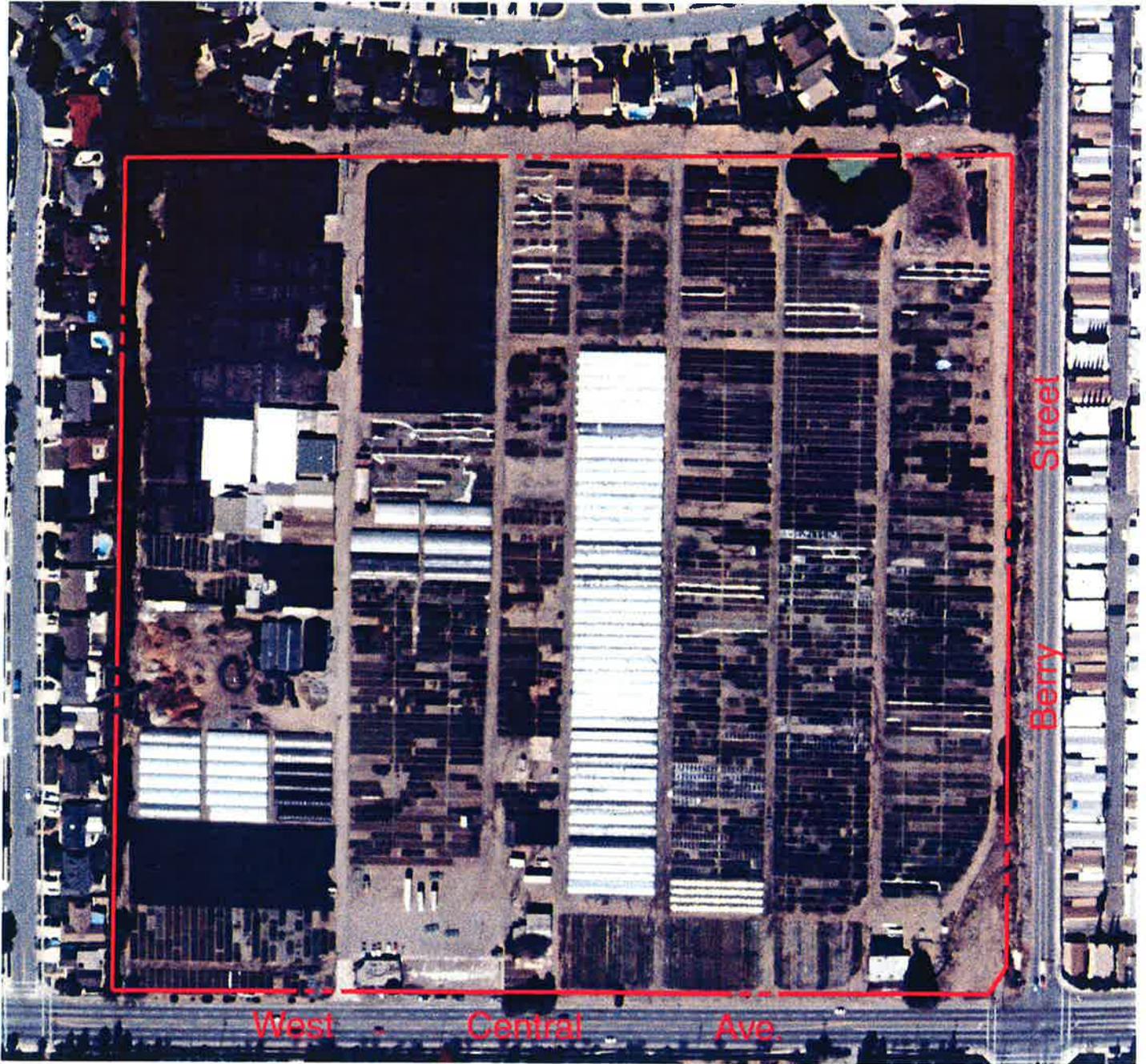


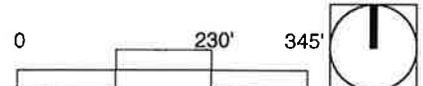
Exhibit 2-3

Tomlinson Park Specific Plan

**AERIAL PHOTOGRAPH**



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### 2.3 *SITE HISTORY*

According to Mr. William Tomlinson, the property was purchased by the Tomlinson Family in 1950. At the time it was purchased the property consisted mostly of orange groves. The home that existed on-site was removed in 1995. Some of the foundation remains in its former location. Most of the property was graded during the 1960's to its current full capacity as a nursery. The original topography of the site was uneven terrain with drainages located along the eastern and western boundaries of the property. Since the Tomlinson's purchased the property, there have been several nurseries which have operated on all or portions of the property. These previous operators have included Select Nurseries (1950-1977), Amfac Nurseries (1977-1982), Barcello/Tomlinson Select (1983-1988), and Village Nurseries (1988 to present).

### 2.4 *ENVIRONMENTAL SETTING*

The project site was previously occupied by Village Nursery and used for the growth, storage, and sale of various plants and vegetation for residential and commercial landscaping purposes. Approximately 20 percent of the property is occupied by office/storage buildings or lath house structures for shaded growth of landscaping. The remaining 80 percent of the property is vacant consisting primarily of unpaved plots of various landscaping, shrubs, and groundcover. The main office building is located off the main entrance on West Central Avenue. A former garage/truck maintenance facility is located just east of the main office building. North of the main west entrance are several buildings associated with the nursery operations. The remaining structures are lath/shade houses consisting of wood frames and polyethylene sheeting or netting as siding and roofs.

The Specific Plan area is relatively flat with elevations ranging from approximately 415 feet above sea level at the southwest corner to approximately 475 feet above sea level at the northeast corner. Natural surface drainage of the area flows towards the south with a natural grade of approximately 3.8%. There are well-defined drainage courses along the eastern and western boundaries of the site that flow to the south. Recent borings did not indicate the presence of groundwater beneath the site. However, previous investigations conducted in 1997 discovered groundwater at depths of 7 and 12 feet.

The site is underlain by artificial fill generally 2.5 to 6.0 feet in depth although a 24 foot fill was encountered on the western portion of the site. The fill materials are underlain by Quaternary terrace deposits. The artificial fill consists of clayey sand and sandy clay with a relative compaction of less than 90 percent. The artificial fill is underlain by terrace deposits consisting primarily of sandy clay with porosity.

Published geologic maps do not show any active or potentially active faults crossing the project site, nor is the project site within a designated Alquist-Priolo Special Studies Zone. Therefore, the potential for surface rupture on-site is considered negligible. However, the project site is located within a region of significant historical seismicity and will likely be subject to seismic shaking at some time in the future. The nearest fault to the site is the Whittier Fault located approximately one

mile north of the site. An event last occurred on the Whittier Fault in 1987 and was a magnitude 5.9 on the Richter Scale.

### **2.5 EXISTING GENERAL PLAN AND ZONING**

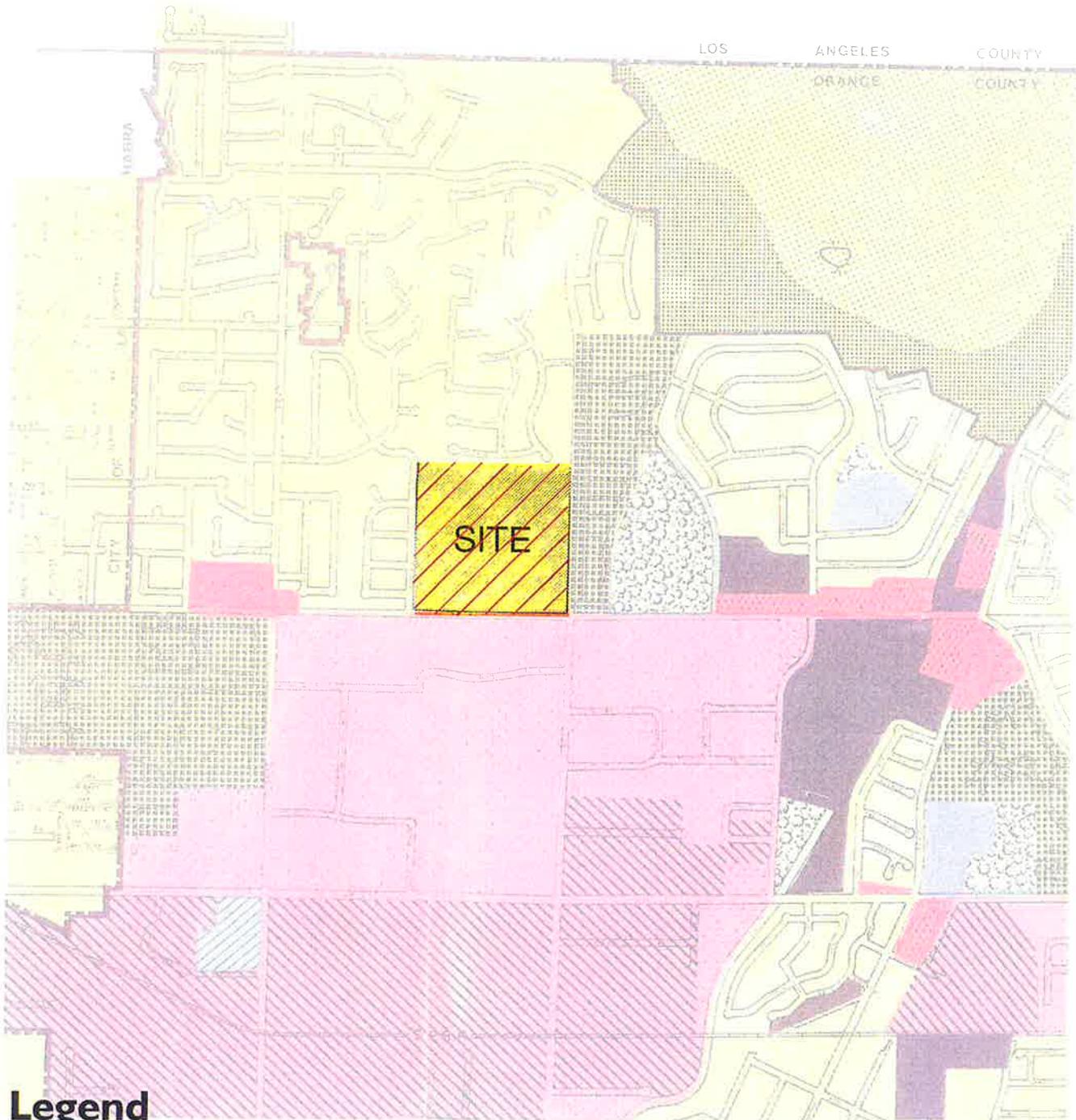
The adopted Brea General Plan designates the site as (SP) Specific Plan, as shown in Exhibit 2-4. This category is applied to areas of the City which are designated for "Specific Plans" to be prepared in accordance with the requirements of the California Government Code (Sections 65450 through 65507). The Specific Plan land use category is designated to allow the Planning Commission and City Council to designate areas subject to detailed planning "as necessary and convenient for the systematic execution" of the General Plan.

The zoning for the site is R-2 and R-3 (high density) as shown on Exhibit 2-5. Both zones allow single-family and multiple family residential uses. Under the existing zoning for the site, a total of 630 residential units could be developed on the 34.7-acre residential portion of the project site (the 4.1 acre public park subtracted from the 38.8-acre project site). The proposed project is consistent with the existing General Plan and Zoning designations for the site because they are both specified for residential uses. A comparison of the proposed project and the allowable density under the existing General Plan and Zoning designations is shown on Table 2-1.

### **2.6 PROJECT OBJECTIVES**

The Specific Plan contains all components required by State law, as well as other components, including design concepts, guidelines, and standards desired by the City to implement the General Plan. The Specific Plan concept has been developed in consideration of a variety of factors including the City's desire to incorporate Traditional Neighborhood Design (TND) techniques, maintenance and enhancement of the existing residential neighborhoods, and the need for additional recreational opportunities in northern Brea. Based on these factors, the goals and objectives established for the project in preparation of the Specific Plan are to:

- Provide a comprehensive land use plan based on Traditional Neighborhood Design (TND) principles that designates the distribution, location, and extent of land uses, roadways, and public facilities within the Specific Plan area;
- Maintain and enhance the existing area through the use of extensive landscape setbacks on surrounding streets including Berry Street and West Central Avenue;
- Promote development of the most consistent and appropriate land uses according to existing zoning of the site subsequent to removal of the existing nursery;



**Legend**

- |                          |                             |                                 |
|--------------------------|-----------------------------|---------------------------------|
| Rural Residential        | Neighborhood Commercial     | Open Space / Parks / Recreation |
| Hillside Residential     | Regional Commercial         | Buffer                          |
| Low Density Residential  | Office / Financial          | <b>Specific Plan</b>            |
| Med. Density Residential | Light Industrial            | Sphere of Influence             |
| High Density Residential | General Industrial          | City Limits                     |
| General Commercial       | Public Facilities & Grounds |                                 |

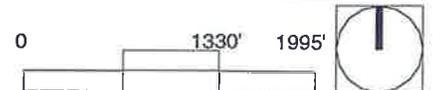
**Exhibit 2-4**

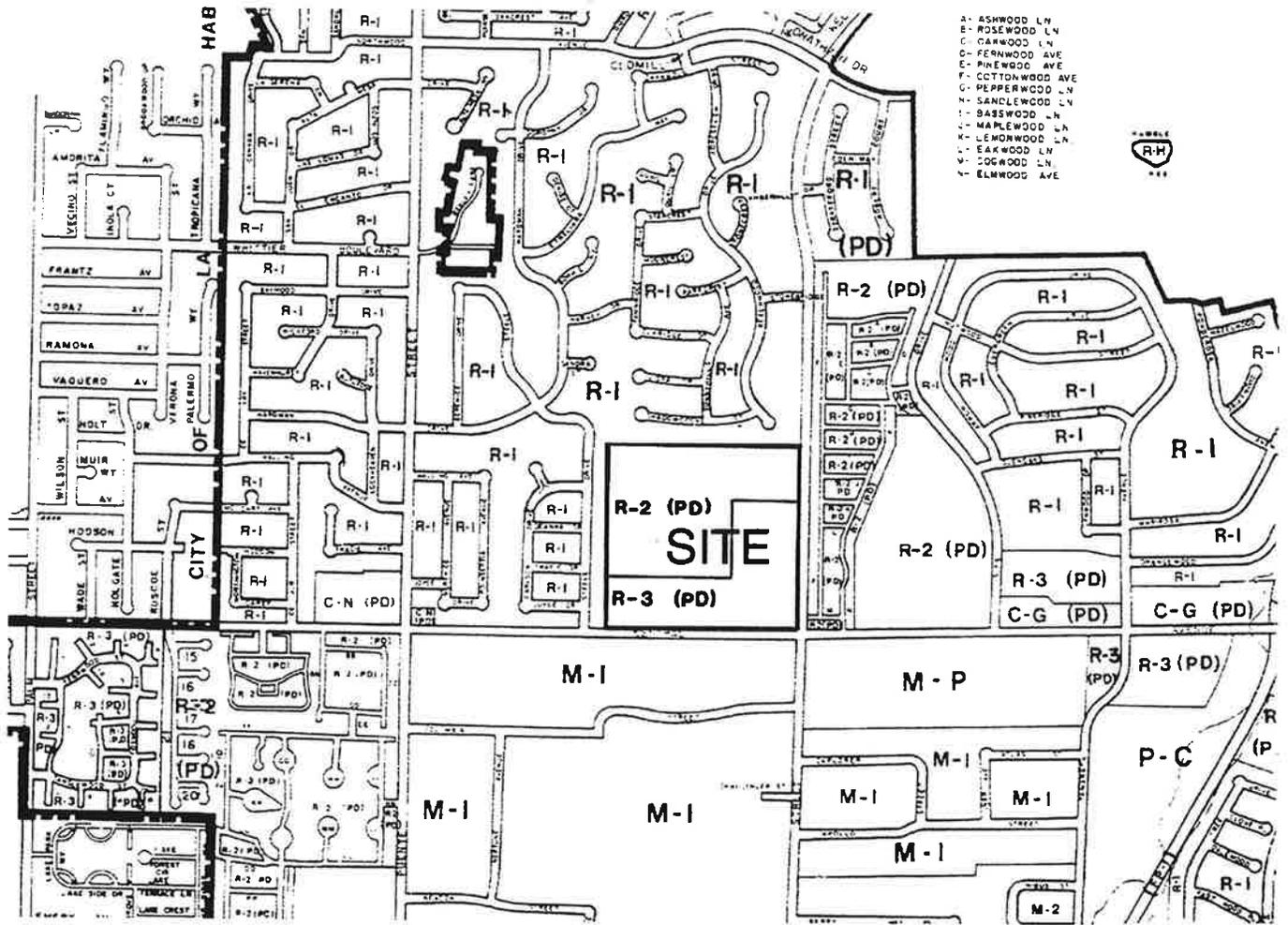
**Tomlinson Park Specific Plan**

**EXISTING GENERAL PLAN**

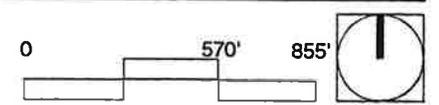


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- A- ASHWOOD LN
- B- ROSEWOOD LN
- C- GARNWOOD LN
- D- FERNWOOD AVE
- E- PINEWOOD AVE
- F- COTTONWOOD AVE
- G- PEPPERWOOD LN
- H- SANDLEWOOD LN
- I- BASSWOOD LN
- J- MAPLEWOOD LN
- K- LEMONWOOD LN
- L- EAKWOOD LN
- M- DOGWOOD LN
- N- ELMWOOD AVE



<b>Table 2-1 Tomlinson Park Specific Plan Zoning Comparison</b>				
Zoning	Allowable Uses	Acreage (w/o park)	Density	Maximum Dwelling Units
<b>Existing Zoning</b>				
R-2 (PD)	Single family, two family and multiple family dwellings (including rental apartments), town-houses, and parks.	18.06	12.0 du/ac	217
R-3 (PD)	Single family, two family and multiple family dwellings (including rental apartments), town-houses, and parks.	16.64	24.8 du/ac	413
<b>Total:</b>	High density	34.7	18.1 du/ac	630
<b>Proposed Project</b>				
Specific Plan	For-sale single-family dwellings - 231 units	34.7	6.9 du/ac	240* (231 plus 9 carriage units)
	With carriage units - 9 units			
<b>Net Density Reduction:</b>	Medium density (w/Carriage Units)	34.7	- 11.1 du/ac	- 390
<p><u>Notes:</u></p> <ol style="list-style-type: none"> <li>The proposed density is approximately 33 % of the density allowed on the site under existing zoning (includes carriage units). The Specific Plan reduces the average density by more than 11 units per acre (not including the public park--34.7 acres) and reduces the number of units by 390. Density for the 34.7 acre site with 240 units is 6.9 du/ac.</li> <li>Density calculations are shown without the 4.1 acre public park.</li> <li>The acreage is calculated by subtracting the 4.1 acre public park (3.5 net) from the 38.8 total acreage for the project site to get 34.7 acres. The acreages for existing zoning designations were calculated by subtracting 2.05 acres (half of the 4.1 acre public park) from acreages defined for each zoning classification.</li> <li>The acreage (34.7 acres) includes the private recreation facility, streets, and other non-designated areas.</li> </ol> <p>(PD) Precise Development Zone</p> <p>* As a builder's option, a maximum of nine rental carriage units may be converted from the floor space allowed on the 35' x 73' floor plan.</p>				

- Provide additional recreational opportunities for existing and future Brea residents through the inclusion of a ±4.1-acre (3.5 acres net) neighborhood park, extensive landscaping, pedestrian/bicycle trails, and greenbelts, and a ±0.5 acre private recreational facility;
- Increase the availability of housing to Brea area residents;
- Provide for the inclusion of Affordable Housing within the community, consistent with the ordinances and guidelines of the City of Brea;
- Provide for the aesthetic restoration/enhancement of the project site through demolition of facilities associated with the previous nursery operation while allowing the project proponent to redevelop the site with a more appropriate land use consistent with the surrounding uses.
- Establish design guidelines and development regulations and procedures to control future project improvements and provide appropriate architectural themes for the Tomlinson Park area.

### **2.7 AUTHORITY AND REQUIREMENTS**

#### **2.7.1 Authority for Specific Plans**

The authority to prepare, adopt, and implement Specific Plans is granted to the City of Brea by the California Government Code (Title 7, Division 1, Chapter 3, Article 8, Sections 65450 through 65457). As with General Plans, the Planning Commission must hold a public hearing before it can recommend adoption of a Specific Plan. The City Council may adopt a Specific Plan by either ordinance or resolution. The City of Brea will adopt the Tomlinson Park Specific Plan by Ordinance, and following adoption, the document will act as zoning for the property.

#### **2.7.2 Requirements for Specific Plans**

California Government Code Section 65451 sets forth the requirements for Specific Plans as follows:

*A Specific Plan shall include a text and a diagram or diagrams which specify all of the following in detail:*

- 1) *The distribution, location, and extent of the uses of land, including open space, within the area covered by the plan;*
- 2) *The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan;*

- 3) *Standards and criteria by which improvements will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable, and*

*A program of implementation measures including regulations, programs, public works projects and the financing measures necessary to carry out paragraphs 1, 2, and 3 above.*

*The Specific Plan shall include a statement of the relationship of the Specific Plan to the General Plan.*

The Specific Plan is a regulatory plan which will serve as the zoning for the subject property. Proposed development plans or agreements, tentative tracts or parcel maps, and any other development approval must be consistent with the Specific Plan. Projects which are found consistent with the Specific Plan will be deemed consistent with the City's General Plan.

### **2.8 RELATIONSHIP TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)**

Pursuant to the CEQA Guidelines, the City of Brea prepared an "Initial Study" which determined that the Tomlinson Park Specific Plan may result in significant environmental impacts and therefore required preparation of an Environmental Impact Report (EIR). Pursuant to the findings of the City's Initial Study, Program Environmental Impact Report No. EIR 00-1 (SCH 2000021059) was prepared for the proposed project which covered the following discretionary approvals: Specific Plan No. SP 99-4, and ZC 00-01. Environmental Impact Report No. EIR 00-1 comprehensively analyzed the potential environmental impacts of the project as determined by the Initial Study, and identified mitigation measures for each significant impact. All mitigation measures included in the Final Environmental Impact Report No. EIR 00-1 are hereby made specific conditions of approval to the Tomlinson Park Specific Plan.

Final Environmental Impact Report No. EIR 00-1 serves as the EIR for this Specific Plan and is intended to apply to all subsequent development projects processed in conformance with this Specific Plan. All future development projects shall be for conformance reviewed with the Specific Plan and EIR to determine whether additional environmental documentation must be prepared pursuant to Section 15162, 15168, and 15182 of the CEQA Guidelines.

### 3.1 *PURPOSE AND INTENT*

The purpose of the Tomlinson Park Specific Plan is to assure quality residential design and construction through the development regulations and design guidelines contained herein. The intent of the regulatory specific plan and its regulations is to provide development criteria and standards to guide the developer(s)/builders and the City of Brea in the design of a new residential neighborhood. This Specific Plan will act as zoning and will be used to establish setbacks, standards, allowed lot sizes, street standards, parking standards, height limits, etc. This section contains a description of the goals, objectives and policies for the Tomlinson Park Specific Plan combined with various plan components. These components provide the rationale for the development regulations found in Section 4.0, Development Regulations.

The development plan has been derived from several project alternatives and input from studies prepared by the applicant's civil engineer, land planners, architects, geologist/soils engineer, marketing consultant, utility consultant and involvement by the City of Brea Development Services Department. As a result, the plan addresses development-related issues in the form of proposed physical improvements, guidelines for future development, technical data, implementation procedures and regulations.

### 3.2 *LAND USE PLAN*

The Tomlinson Park Specific Plan proposes a residential neighborhood utilizing Traditional Neighborhood Design (TND) concepts to ultimately replace the existing nursery operations. These uses include single-family residential, public park and private recreation uses. The specific residential land uses for the site are depicted in the Land Use Plan, Exhibit 3-1, and summarized in Table 3-1. The land use designation for the Tomlinson Park Specific Plan area shall be:

- **Residential** (1.0-12 DU/Ac) allows for a maximum of twelve (12) dwelling units per acre. A maximum of 231 single-family lots on 38.8 acres with the density of 6.0 du/ac are proposed within this designation (6.7 du/ac if 4.1 acres, the size of the public park, is excluded from the value). In addition, a maximum of nine of the 35' x 73' lots may also provide, as a builder's option an accessory carriage unit above the garage to provide additional rental opportunities within the City of Brea. A total of 240 units (an additional nine rental carriage units may be converted from the floor space allowed and included in the total units, if approved) on 34.7 acres will produce a density of 6.9 du/ac (4.1 acres, the size of the public park, is excluded from the value).



**Table 3-1  
Land Use Summary**

Land Use	City Zoning Equivalent	Acreage	Lot Size*	Density (du/ac)	Dwelling Units
Residential - Single Family Detached	R-2 (PD)	34.7	35' x 73' = 2,555 s.f.		63
			44' x 70' = 3,080 s.f.		92
			50' x 84' = 4,200 s.f.		76
			Carriage Units		9
Public Park	R-2 (PD)	4.1	3.5 Net Greenspace		
Private Rec. Center	R-2 (PD)	0.5			
<b>Total: (without public parkland)</b>		34.7		6.7 du/ac/ 6.9 du/ac	231/240**
<b>Total:</b>		38.8		6.0 du/ac/ 6.2 du/ac	231/240**

Notes:

1. The proposed density is approximately 33 % the density allowed on the site under existing zoning.
2. Density calculations are shown with (240 dwelling units) and without (231 dwelling units) the optional nine carriage units.

(PD) Precise Development Zone

\* See Exhibit 5-24, Reciprocal Easements - Typical, for allowable lot line configurations and lot areas.

\*\* A maximum of nine lots can also provide, as a owner's option, a rental carriage unit above the garage, if approved.

The proposed project consists of a Specific Plan to allow for the development of 231 single-family residential homes, a 4.1 acre public park, and a 0.5 acre private recreational facility on the 38.8 acre site. In addition, a maximum of nine lots will also provide an accessory carriage unit to be built as optional rentals on the 35' x 73' lots. If the carriage units are not built, the space will be constructed as part of the house. Of the 231 total homes, a total of 63 units have approximate lot sizes of 35' x 73' (2,555 s.f.), 92 units have lot sizes of approximately 44' x 70' (3,080 s.f.), and 76 units have approximate lot sizes of 50' x 84' (4,200 s.f.). The average density for the project is 6.9 dwelling units per acre for all units including the carriage units and all area excluding the public park. The centrally located public park site creates a major scenic vista (over 700 feet deep) upon entering and exiting the project. Each interior street has a view of the park while traveling within the Specific Plan area. The 4.1 acre park will be a public park benefitting future Tomlinson Park residents as well as existing Brea residents. There is perimeter circulation and parking located immediately adjacent to the park. The space is designed so that there is residential frontage across the street from

the park. The high visibility of the park will allow future residents to view park activities thereby increasing the availability of adult supervision and the feeling of safety. It also allows for strong interaction between the new residents creating a strong sense of neighborhood.

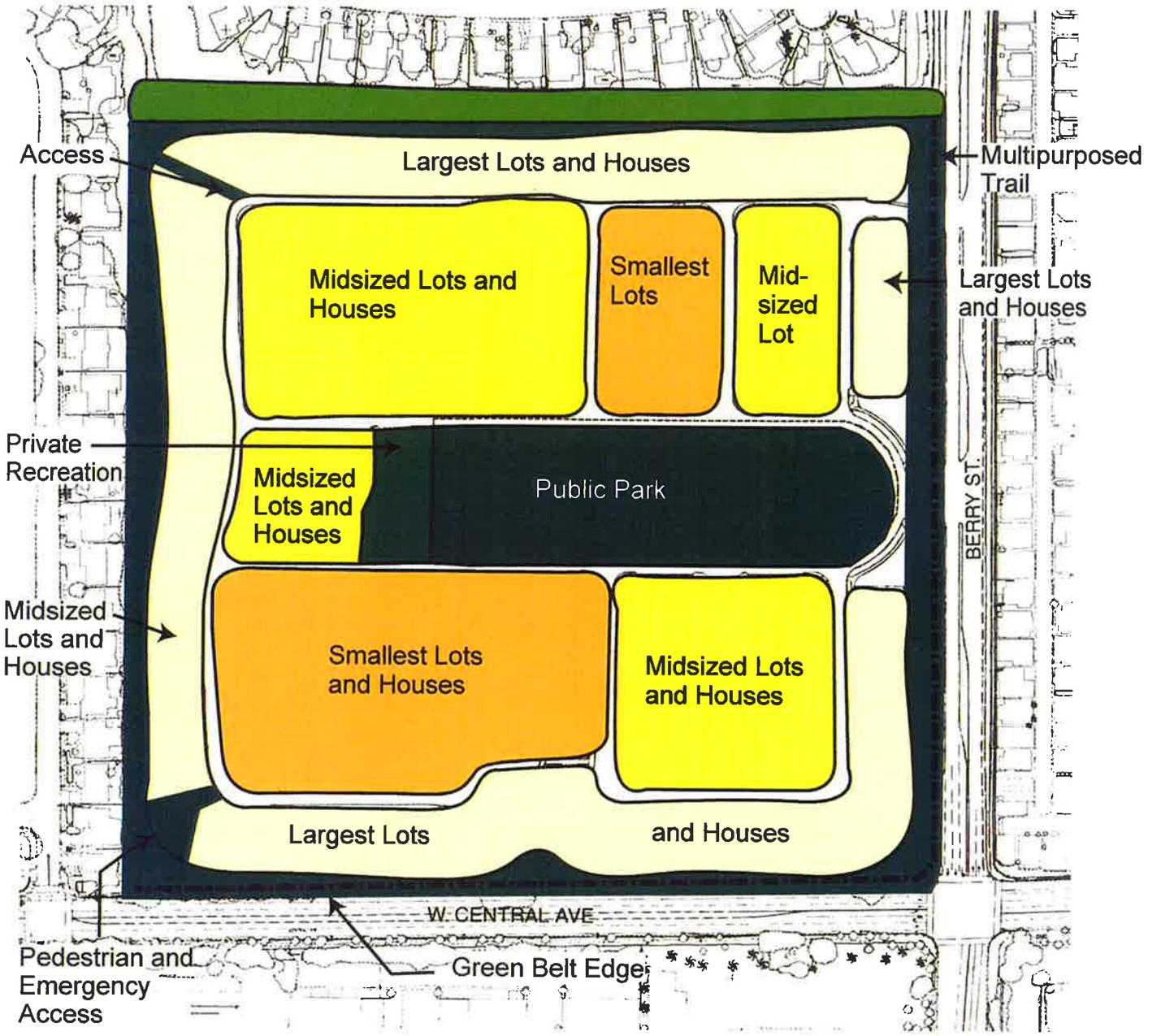
The mix of housing sizes and lot types is unusual for southern California. The concept is patterned after a "Traditional Neighborhood Design" (TND). This has been done to allow greater variety in the street scene and avoid the look and feel of a typical subdivision. This design will require additional coordination during construction and phasing but is expected to result in a more interesting and visually stimulating neighborhood that avoids repetition.

Approximately 255 on-street parking spaces are provided with 240 apron parking spaces. Each home will have a minimum two-car garage resulting in 462 (471 if the garages below the nine carriage units are included) off-street covered parking spaces. The 50' x 84' lots may include a three-car garage at the builder's option. An additional 40 parking spaces will be provided for the public park and private recreational facility. The actual number of spaces will be determined after final site planning has been completed in accordance with the City of Brea Zoning Ordinance.

A high quality, cohesive design concept based on TND principles is developed to create a "strong community image" for Tomlinson Park setting it apart from other communities in the area. This is accomplished through the coordinated application of appropriate planning, architectural, and landscape elements. In addition, a set of design guidelines will be developed as part of the Specific Plan process. These will include design criteria to guide the development of the residential neighborhoods and, at the same time, maintain an overall sense of continuity between the individual product types. Implementation of these design guidelines will:

- Establish a high quality appearance for the development;
- Insure compatibility between Tomlinson Park and the existing residential neighborhoods surrounding the project;
- Direct the form and character of the homes;
- Enhance the community's overall value;
- Remain flexible to respond to evolving conditions including changes in lifestyles, buyer tastes, economic conditions, community desires, and the market place.

In order to blend with the surrounding community, Tomlinson Park places the largest lots and houses adjacent to the existing residential neighborhoods surrounding the project site, as shown on Exhibit 3-2. Smaller lots and homes are placed on the interior of the project nearest the public park in order to maintain an "open feel" throughout the project even though some of the lots are smaller.



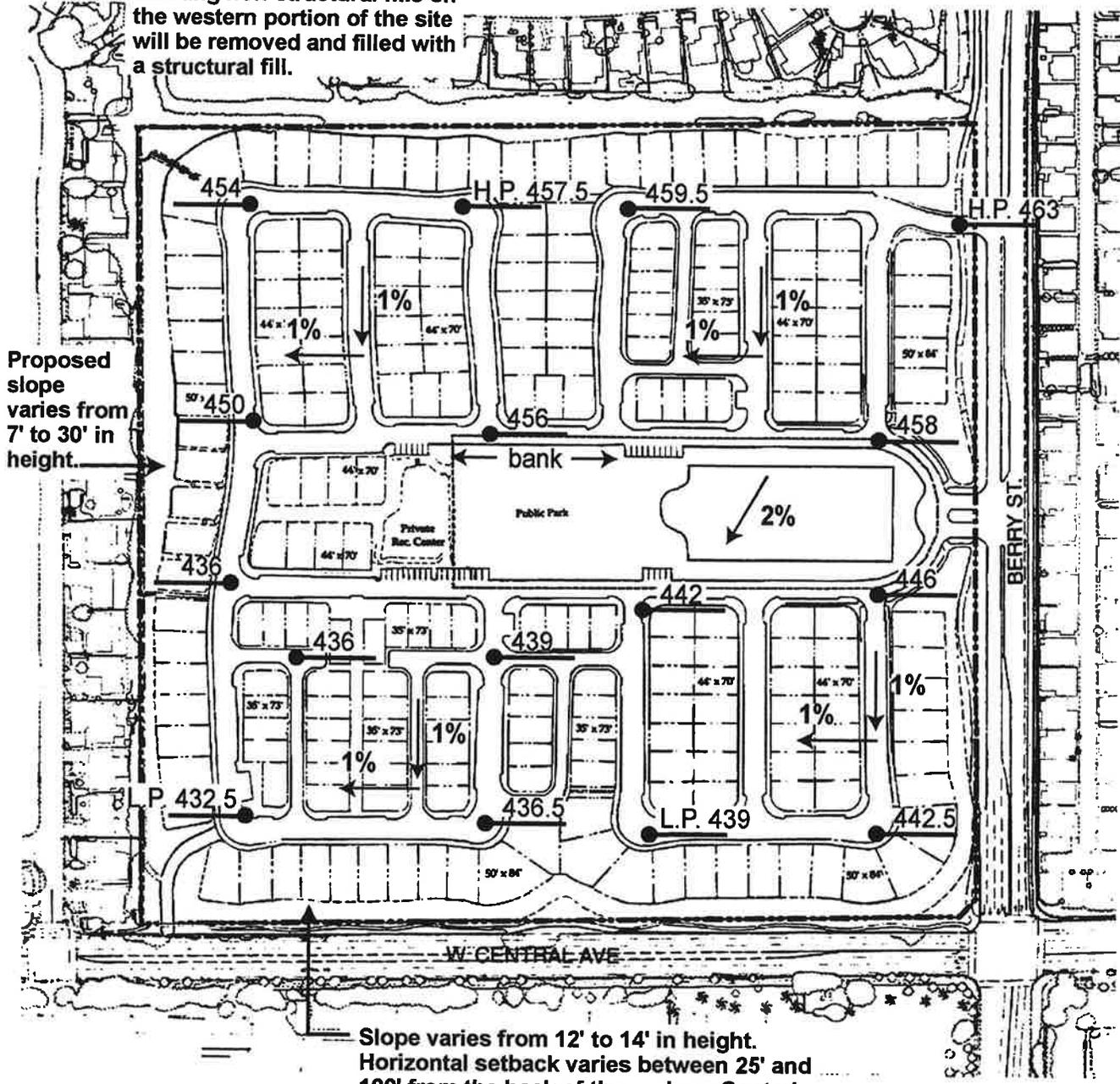
### 3.3 GRADING PLAN

The overall grading concept for the Tomlinson Park Specific Plan area is shown on Exhibit 3-3. Due to past grading activities associated with the nursery the Specific Plan area is relatively flat and will not require a significant amount of grading. However, the majority of the historic fills were non-structural and will require removal and recompaction. Remedial grading will include over excavation of the site to a depth of three or four feet because of the existing use on the property. Grading quantities for the residential development will total approximately 270,000 cubic yards to be balanced on-site, according to the Tentative Tract Map. Maximum cut and fill depths for project development will be approximately 15 feet and 30 feet, respectively, as shown on Exhibit 3-4. The maximum fill depth is a result of the removal and recompaction of the historical fills on site. All grading for the project, including remedial grading, is currently calculated as 270,000 cubic yards. Per dwelling unit, grading for each lot is just over 1,160 cubic yards. Other minor cut and fill activities will be required for project implementation. The intent of the Grading Plan is to produce buildable lots by grading the project at a one percent slope in the residential areas. This is done to avoid extended footings, retaining walls, stem walls, and the side yard drainage swales which create a canyon effect. Slope stabilization on the western edge will conform to the City of Brea Grading Ordinance and recommendations of the soils engineer. Erosion and drainage plans shall be reviewed and approved by the City Engineer prior to issuance of a building permit.

The goals of the Conceptual Grading Plan are to mitigate flood hazards of the site by undergrounding the storm drains, provide stable areas for housing by removal and recompaction of the existing fill areas, and minimize the elevation change from lot to lot to avoid stem walls, extended footings, visual impact and side yard drainage problems. To satisfy these goals, the grading concept in conjunction with the Drainage Plan, has been established and must be implemented so that the following occurs:

1. All grading and grading plan information shall be in conformance with the applicable grading standards of the City of Brea.
2. All graded slopes over four feet shall be planted with trees, shrubs and groundcovers as listed on the Plant Palette contained in Section 5.0.
3. Subdrain installation shall be approved by the City of Brea and the project geologist and civil engineer. All subdrains on private property will be owned and maintained by either individual homeowners or the future Homeowner's Association.
4. All proposed drainage shall comply with the drainage standards administered by the City of Brea and OCFCD.
5. To balance the dirt on site to avoid import or export of dirt.

Existing non-structural fills on the western portion of the site will be removed and filled with a structural fill.

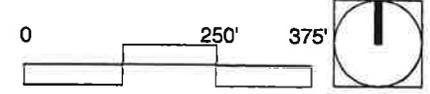


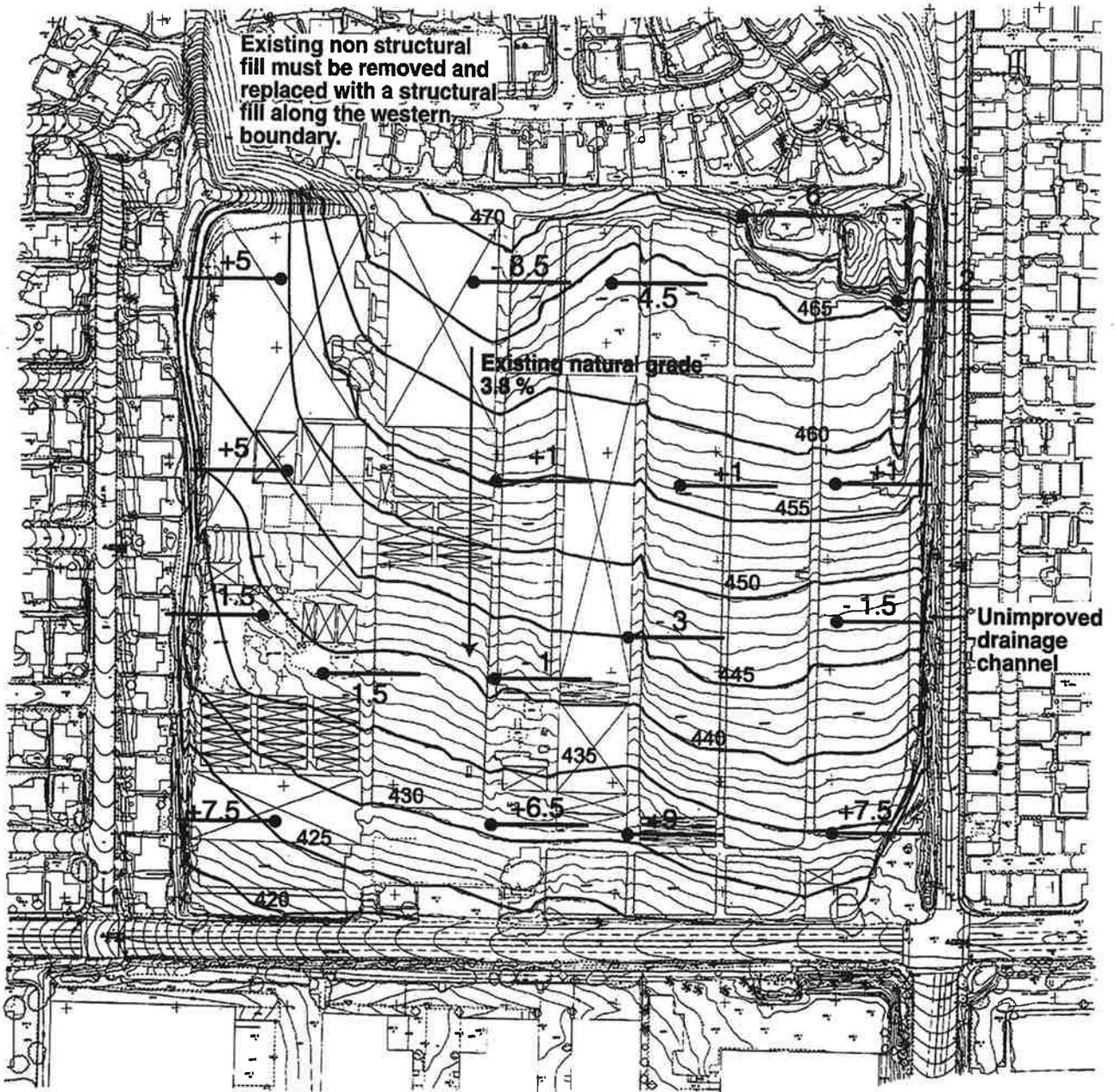
Proposed slope varies from 7' to 30' in height.

Slope varies from 12' to 14' in height. Horizontal setback varies between 25' and 100' from the back of the curb on Central Avenue to top of slope.

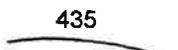
**Note:**  
Grades are approximate and will be refined during the Tentative Tract Map and final engineering plans phase.

- 442.5 Proposed Elevation
- H.P. 463 High Point
- L.P. 432.5 Low Point

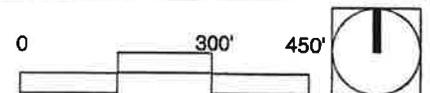




**Legend**

-  Existing Contour
-  Spot Elevation of Cut / Fill Depth
-  - 4      4' Cut
-  + 4      4' Fill

Total cut and fill will balance at approximately 270,000 cubic yards with remedial grading.



6. Elevate the homes abutting West Central Avenue to reduce noise, increase rear yard livability, and create a greenbelt edge along the southern property line.
7. Continue the greenbelt riparian edge on Berry Street that was established by the Baldwin Homes to the north.
8. Lower the house pads on the northern boundary to increase the privacy and setback from the existing residences to the north.
9. Extension of the storm drain system across the street north of the park to avoid street drainage through the park.

Erosion and drainage maintenance during grading and construction shall be conducted in accordance with the National Pollutant Discharge Elimination System (NPDES) including:

1. Stockpiling of excess material shall be approved by the City Engineer prior to excavation.
2. The existing drainage courses along Berry Street shall remain open until facilities to handle stormwater are approved and functional. The storm drain system shall be consistent with the Mitigation Measures included in the certified Tomlinson Park Specific Plan Environmental Impact Report.
3. Approved protective measures and temporary drainage provisions shall be used to protect adjoining properties to the west and City streets during grading.
4. Approved dust control measures must be used.
5. Equipment and workers for emergency work shall be made available at all times during the rainy season. Necessary materials shall be made available on-site and stockpiled at convenient locations to facilitate rapid construction of temporary devices when rain is eminent.
6. Erosion control devices shall not be moved or modified without the approval of the City Engineer.
7. All erosion protective devices shall be in place at the end of each working day.
8. Protective measures shall be provided to avoid silt and debris from reaching the public streets/storm drain after a rainstorm. Berms and basins shall be checked and pumped dry.
9. Graded areas on the permitted area perimeter must drain away from the face of slopes at the conclusion of each working day. Drainage shall be directed toward de-silting facilities.

10. The permittee shall be responsible for, and shall take necessary precautions to, prevent public trespass onto areas where impounded water creates a hazardous condition.
11. The project applicant shall prepare and file an NOI and NPDES permit containing a Best Management Practices Plan and Storm Water Pollution Prevention Plan with the County of Orange Environmental Management Agency.

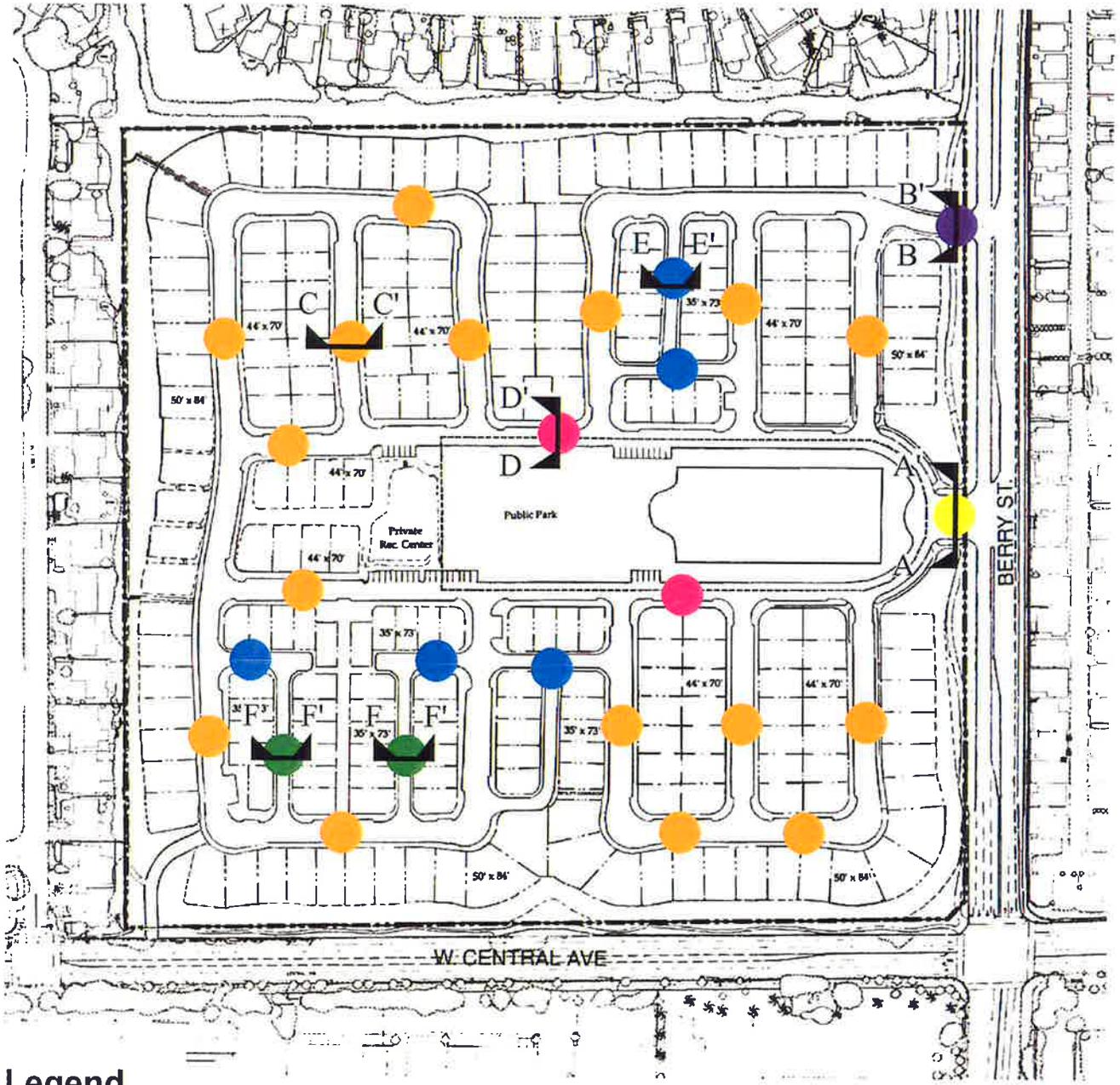
### 3.4 CIRCULATION PLAN

The Tomlinson Park Specific Plan establishes the layout of a circulation system and design standards for vehicular and pedestrian movement which is integrated with off-site arterials. The Circulation Plan responds to the needs of the development and takes into consideration drainage patterns and adjacent development. The proposed circulation network consists of a "pedestrian friendly" public street pattern in which all streets are oriented towards the central park.

Two vehicular entries are provided off of Berry Street, as shown on Exhibit 3-5. The primary entry (Section 'A') consists of a 68-foot face of curb (F.O.C.) to face of curb cross-section with a 20-foot partially-landscaped median and over a 300 foot wide open space window into the project, as shown on Exhibit 3-6. A 26-foot landscaped setback is provided on each side of the entry which includes a 10-foot parkway and a 4-foot sidewalk on both sides of the median, included in the 112' right-of-way (R.O.W). A secondary entry (Section 'B') is also provided off of Berry Street at the northeast corner of the project (see Exhibit 3-6). The secondary access will contain a 28-foot F.O.C. to F.O.C. paved section with a 4-foot sidewalk on each side. In addition to the two vehicular entries, there will be an Emergency Vehicle Access (EVA) ramp located at the southwest corner of the project, as shown in Exhibit 3-7. The EVA will be limited to use by emergency vehicles, such as police cars and fire trucks, only and will be designed in such a way as to prohibit access by non-emergency vehicles. The EVA will consist of a 20-foot wide paved lane with an additional two feet of slope area on either side, for a total of 24 feet in the R.O.W. Retractable bollards or an emergency gate will be installed in order to control non-emergency vehicular access. The EVA will also serve as a pedestrian/bicycle access into the project and will be designed in such a way as to allow the free circulation of pedestrians and bicycles into the project.

The interior streets with parking both sides and parking one side can be seen on Exhibit 3-8. The right-of-way on the local streets is 52'. With parking spaces on both sides of the street, the paving width is 34' F.O.C. to F.O.C. (Section 'C'). With parking on one side, the paving width is 27' F.O.C. to F.O.C. (Section 'D').

The internal circulation for Tomlinson Park consists of an internal loop road around the park and a system of residential loop streets. As shown on Exhibit 3-8, the internal loop road will contain a 34-foot F.O.C. to F.O.C. (parking on both sides) paved section with 4-foot sidewalks on each side. In keeping with the Traditional Neighborhood Design (TND), the 35' x 73' lots will be served by a system of residential lanes (public alleys) for residents to enter the back of the homes and a public street with parking on both sides for guests at the front of the homes. As shown on Exhibit 3-9,



**Legend**

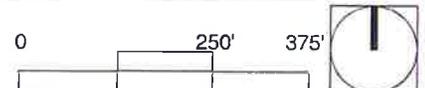
Section   Street Type

- A   Primary Entry
- B   Secondary Entry
- C   Parking on Two Sides - typical
- D   Parking on One Side - typical around park
- E   20' Residential Lanes (Public Alley) - typical
- F   24' Residential Lanes (Public Alley) - occurs only as shown

**Exhibit 3-5**

Tomlinson Park Specific Plan

**STREET CROSS SECTION LOCATIONS**



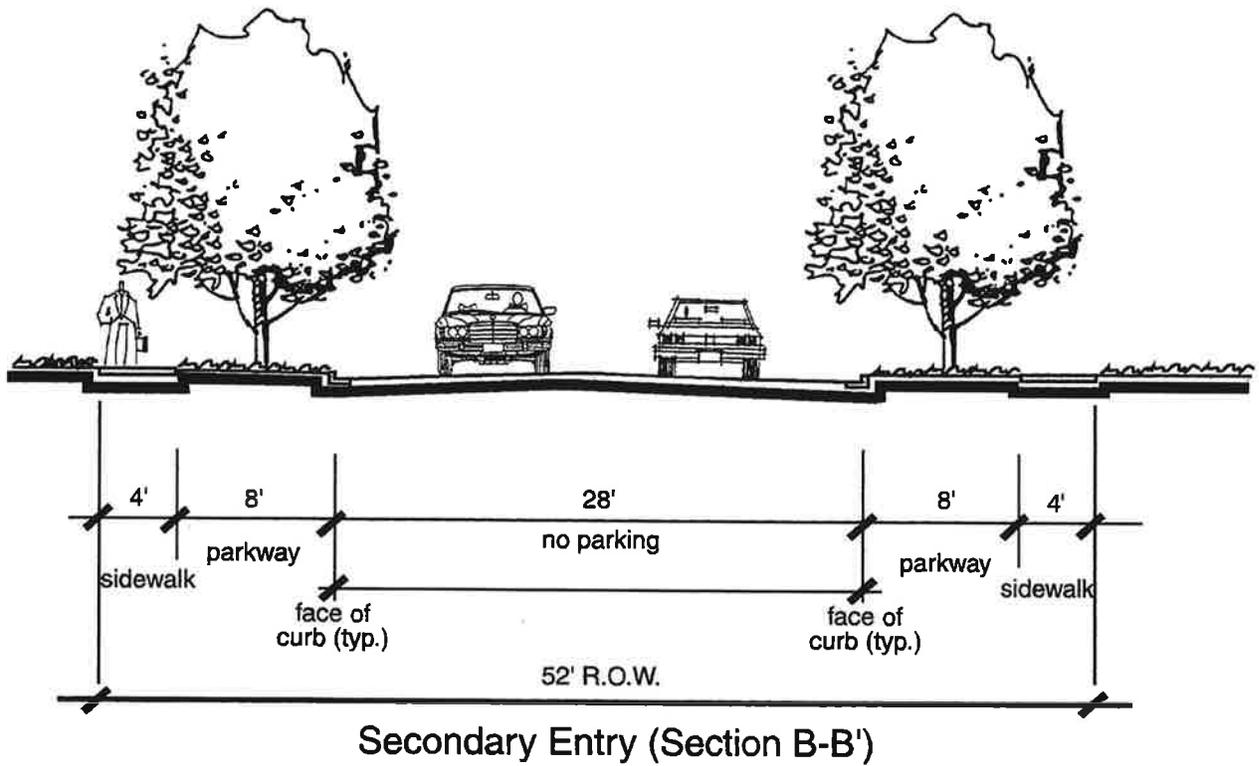
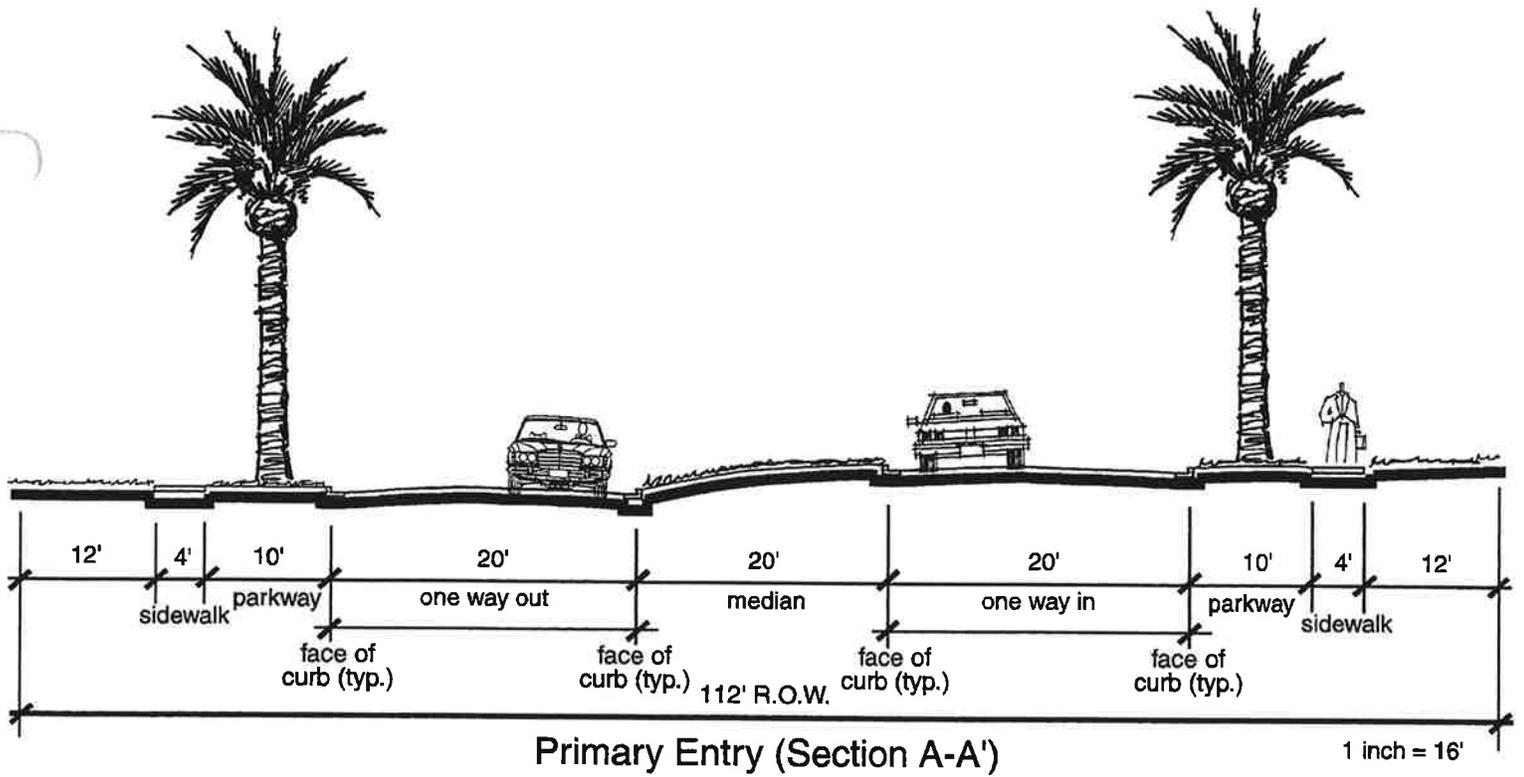
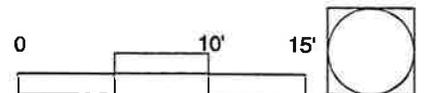
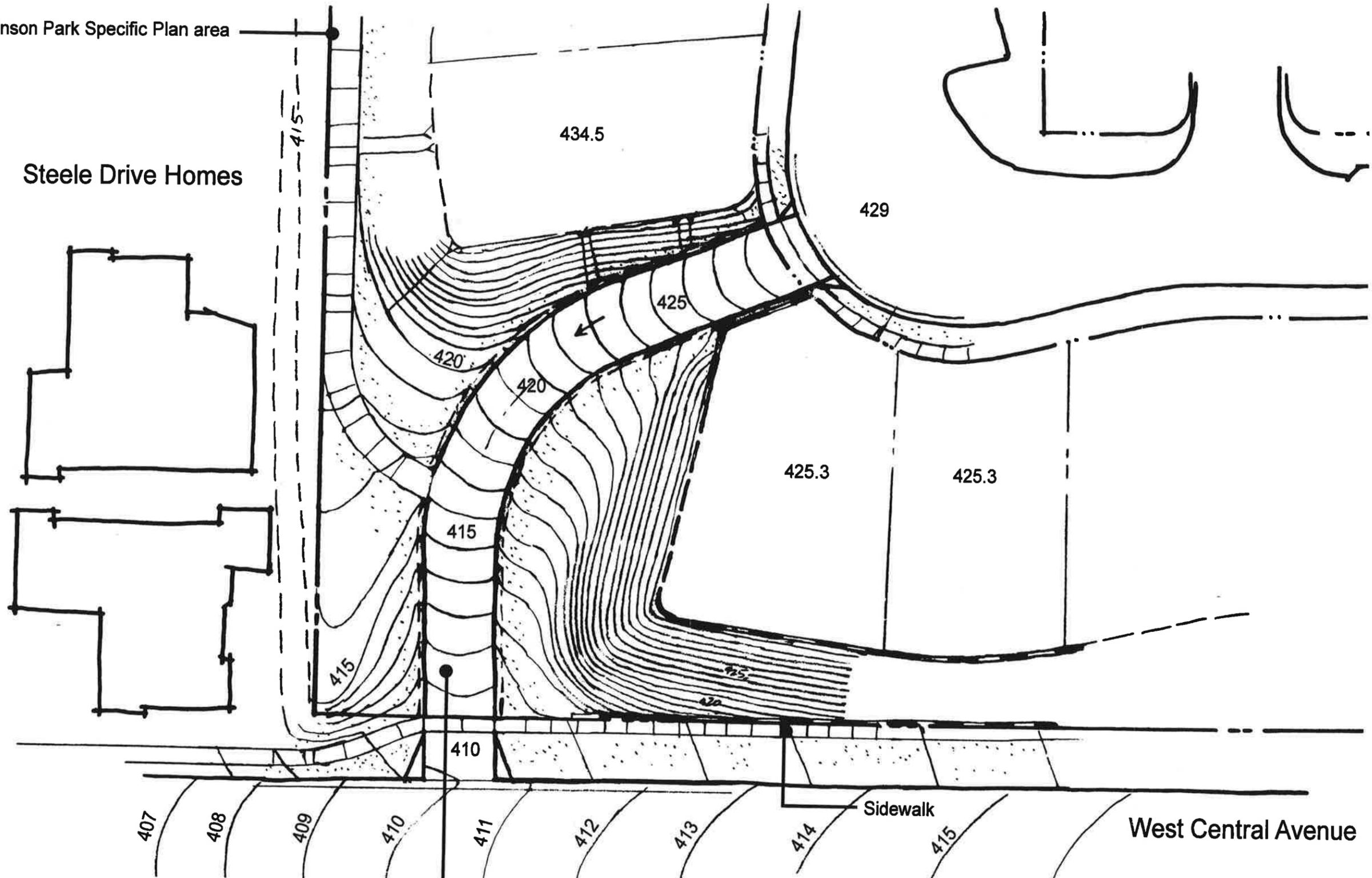


Exhibit 3-6  
**(SECTION A-A' & B-B')**  
**STREET CROSS SECTIONS**



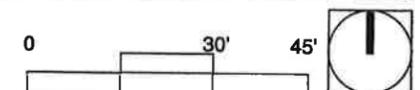
Tomlinson Park Specific Plan area

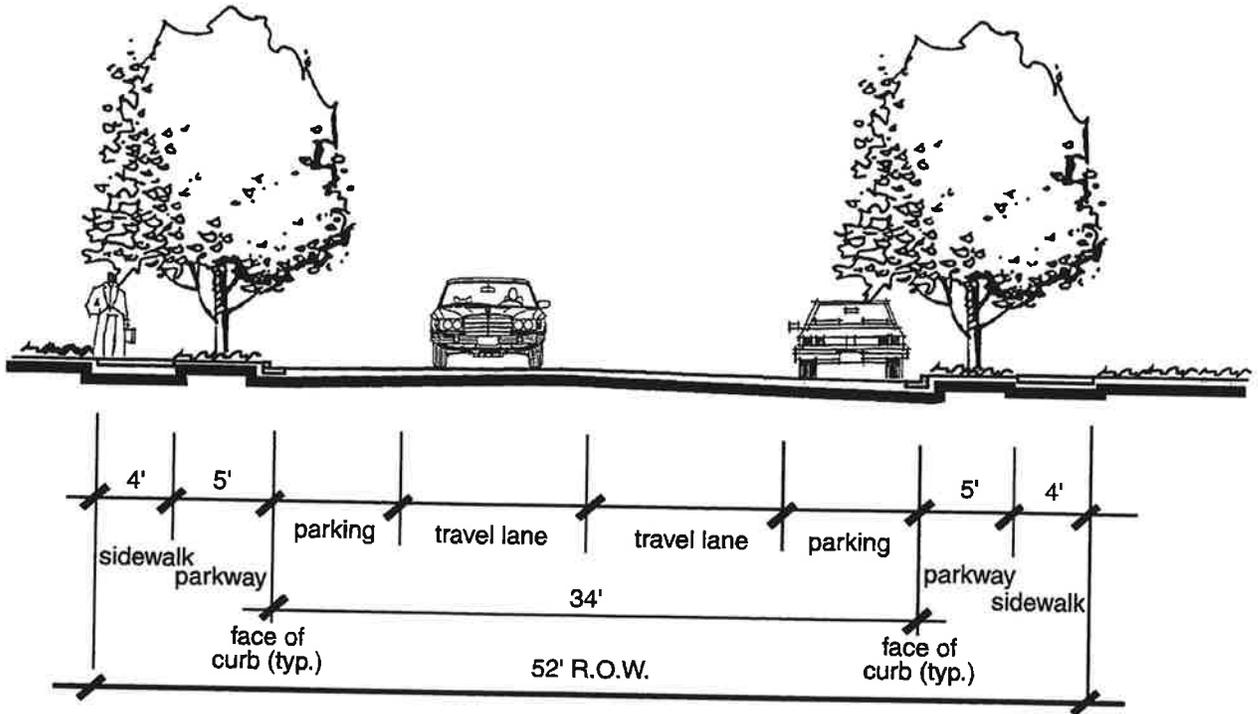
Steele Drive Homes



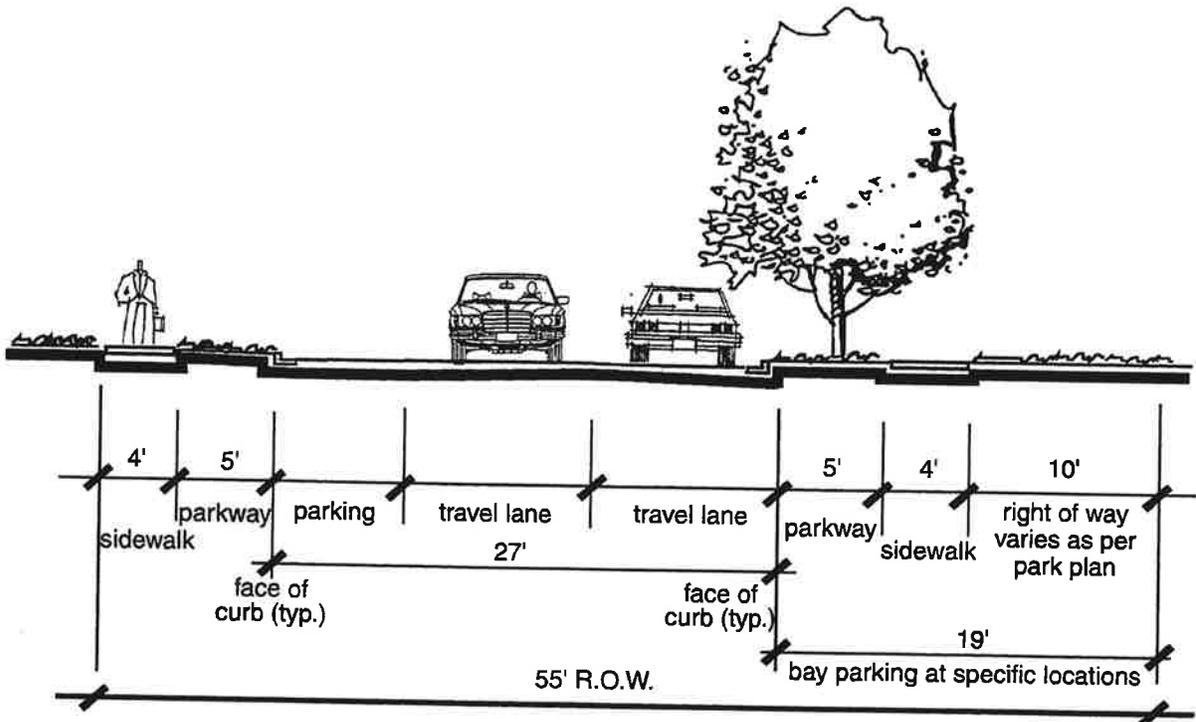
Note: Numbers indicate elevation in feet.

Emergency Vehicle Access (EVA):  
Gates or ballards required by City  
of Brea Fire Department





Parking on Two Sides (Section C-C')

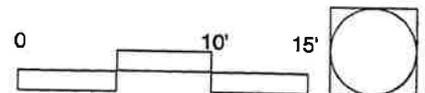


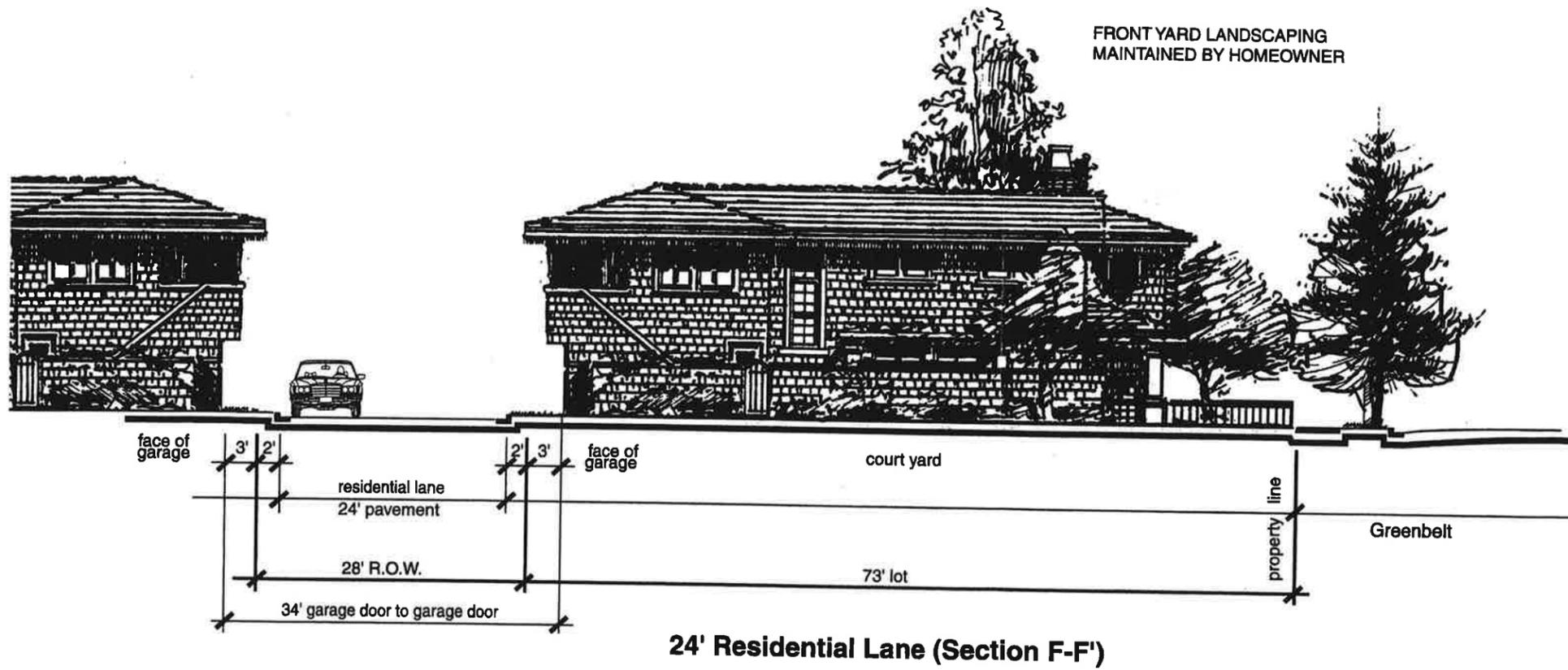
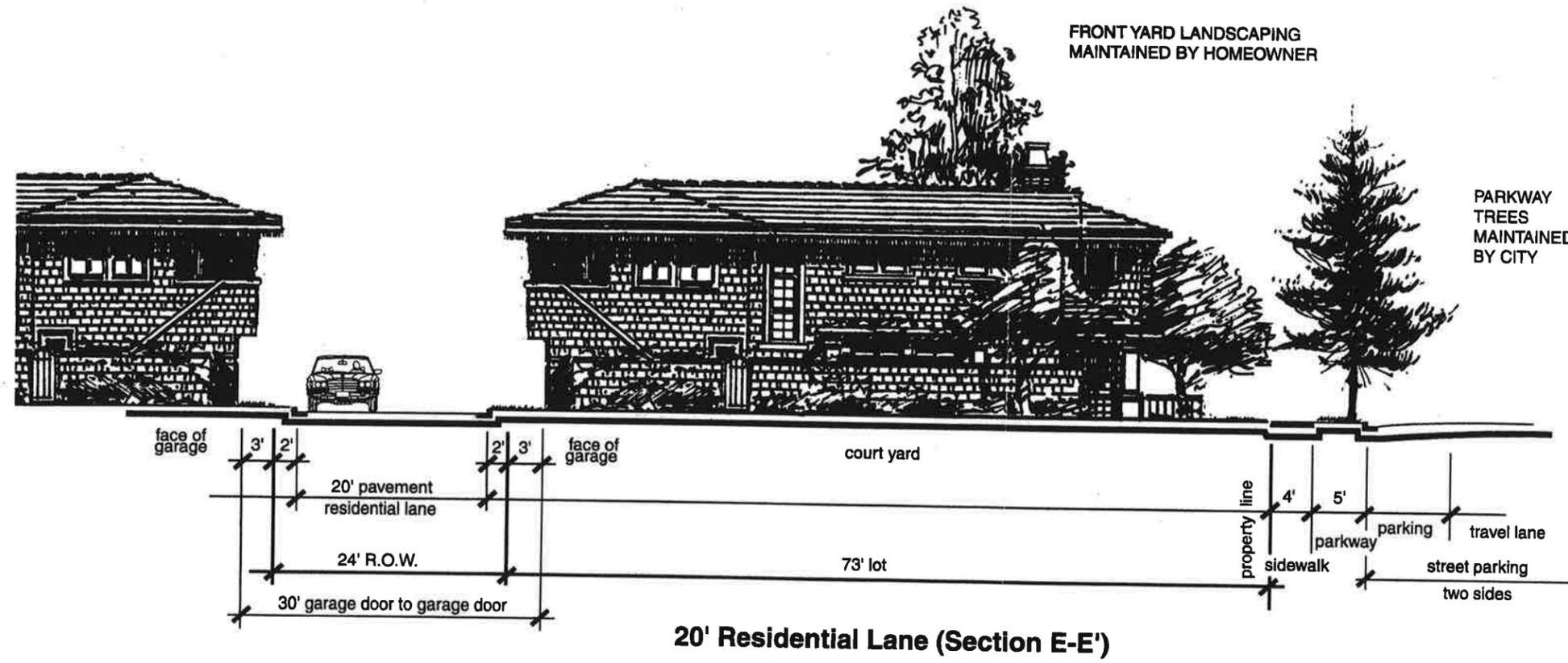
Parking on One Side (Section D-D')

Exhibit 3-8

**(SECTION C-C' & D-D')**  
**STREET CROSS SECTIONS**

Tomlinson Park Specific Plan





garages for these lots will be accessed by a system of residential lanes which are located to the rear of lots. Residential alleys will have a minimum paving of 20 feet (Section 'E') and a maximum of 24 feet (Section 'F'). The minimum distance from the face of the garage to the opposing face of garage across a residential lane is 30 feet. The minimum back up space from a garage is 25 feet of paving with an additional five feet clear of structures or landscaping. Fire access ways of turf block connect opposing residential lanes to provide circulation for large truck traffic or large emergency vehicles. The circulation network within Tomlinson Park will consist of all public roads.

### ***3.5 PUBLIC UTILITY PLAN***

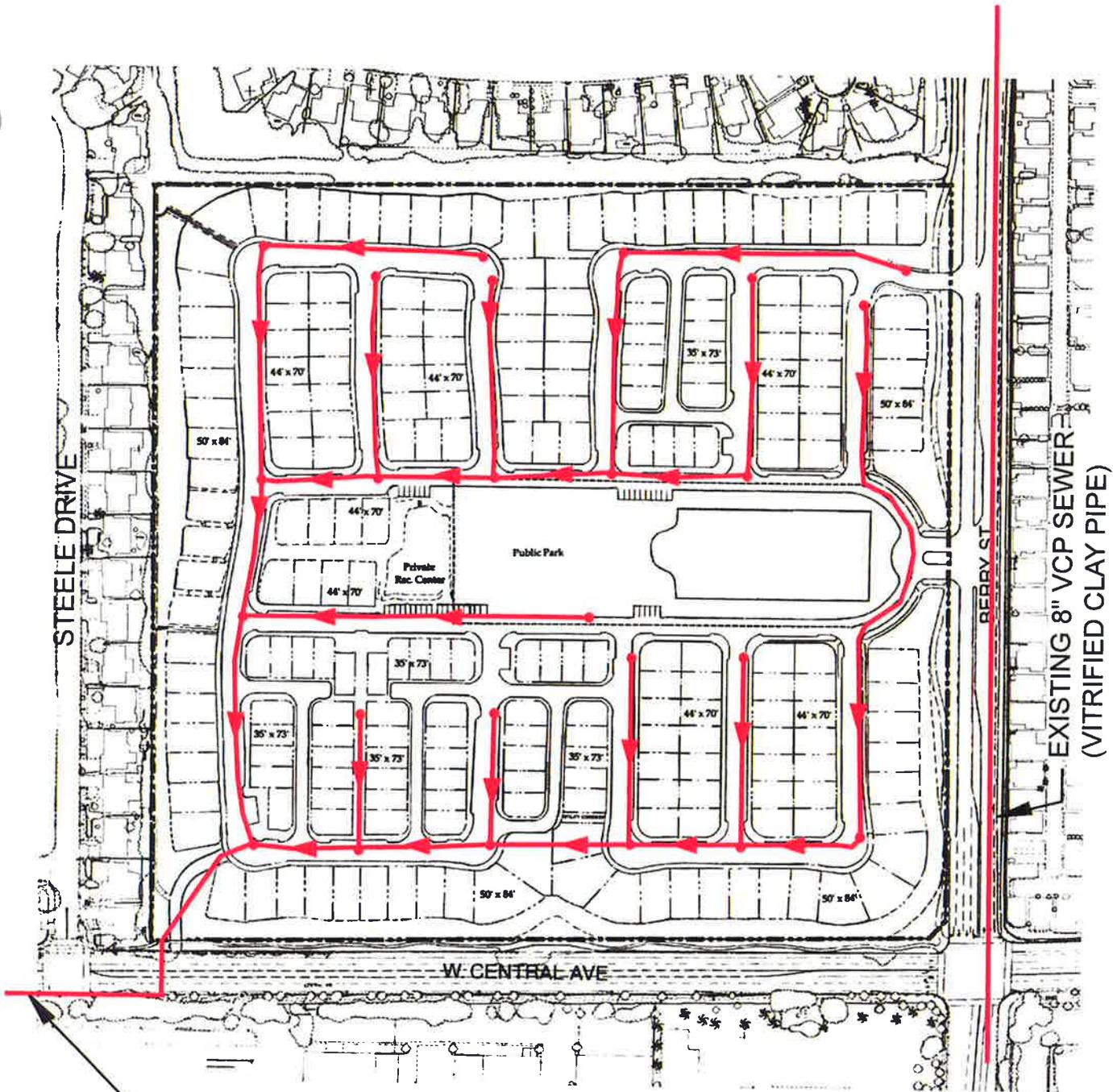
This section will describe the concept for the collection and disposal of project wastewater and for the distribution of water supplies to service the proposed development. The distribution of dry utilities, including gas, electrical and telephone services are also described. All utilities, wet and dry, will be underground with the exception of the 66kV electrical lines that parallel Berry Street and the lines located along the northern boundary. All off-site utility improvements shall be designed and constructed per City of Brea standards and as directed and approved by the City Engineer.

#### ***3.5.1 Sewer Plan***

As shown on Exhibit 3-10, there are two existing sewer mains available along the property boundary. An 8" Vitrified Clay Pipe (VCP) flowing south is located on Berry Street and an 8" VCP stub is located at the southwest corner of the project, flowing west along Central Avenue. The site drains naturally to the southwest and the proposed site grading creates two low points at the southwest corner of the project. This configuration leads to the logical conclusion to direct all of the sewer effluent to the existing 8" stub at the southwest corner of the property. The enclosed conceptual sewer plan illustrates the proposed sewer layout in general conformance with the City of Brea Sewer Master Plan. All off-site sewer improvements shall be designed and constructed per City of Brea standards and as directed and approved by the City Engineer.

#### ***3.5.2 Water Plan***

As shown on Exhibit 3-11, there are three separate water lines along Central Avenue. A 20" Metropolitan Water District line, a City of Brea 12" Ductile Iron Pipe (DIP) line and a 20" California Domestic line which traverses the property in a northwesterly direction and leaves the property through the west property line into the adjacent subdivision. In order to remove this encumbrance from the property, this water line needs to be relocated as depicted in the conceptual water plan. An existing 24" City of Brea feeder water line runs along the entire frontage of the project along Berry Street. Also on Berry Street, there is an 8" DIP Stub approximately 200 feet north of the northerly property line of the project. The conceptual plan proposes a system, which will connect to the existing 12" DIP City of Brea water line on the south side of Central Avenue and will loop by connecting to the existing 8" DIP on Berry Street, 200 feet north of the property. This concept requires an open street cut on Central Avenue and off-site water line construction along Berry Street. The new system may require a Pressure Regulating Station. All off-site improvements shall be



EXISTING 8" VCP SEWER  
(VITRIFIED CLAY PIPE)

EXISTING 8" VCP SEWER  
(VITRIFIED CLAY PIPE)

RELOCATED 20" WATER  
LINE CAL. DOMESTIC

STEELE DRIVE

EXISTING 8" DIP  
(DUCTILE IRON PIPE)  
WATER CITY OF BREA  
NORTH OF PROJECT

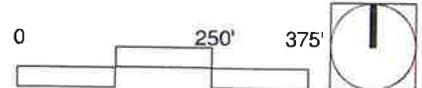
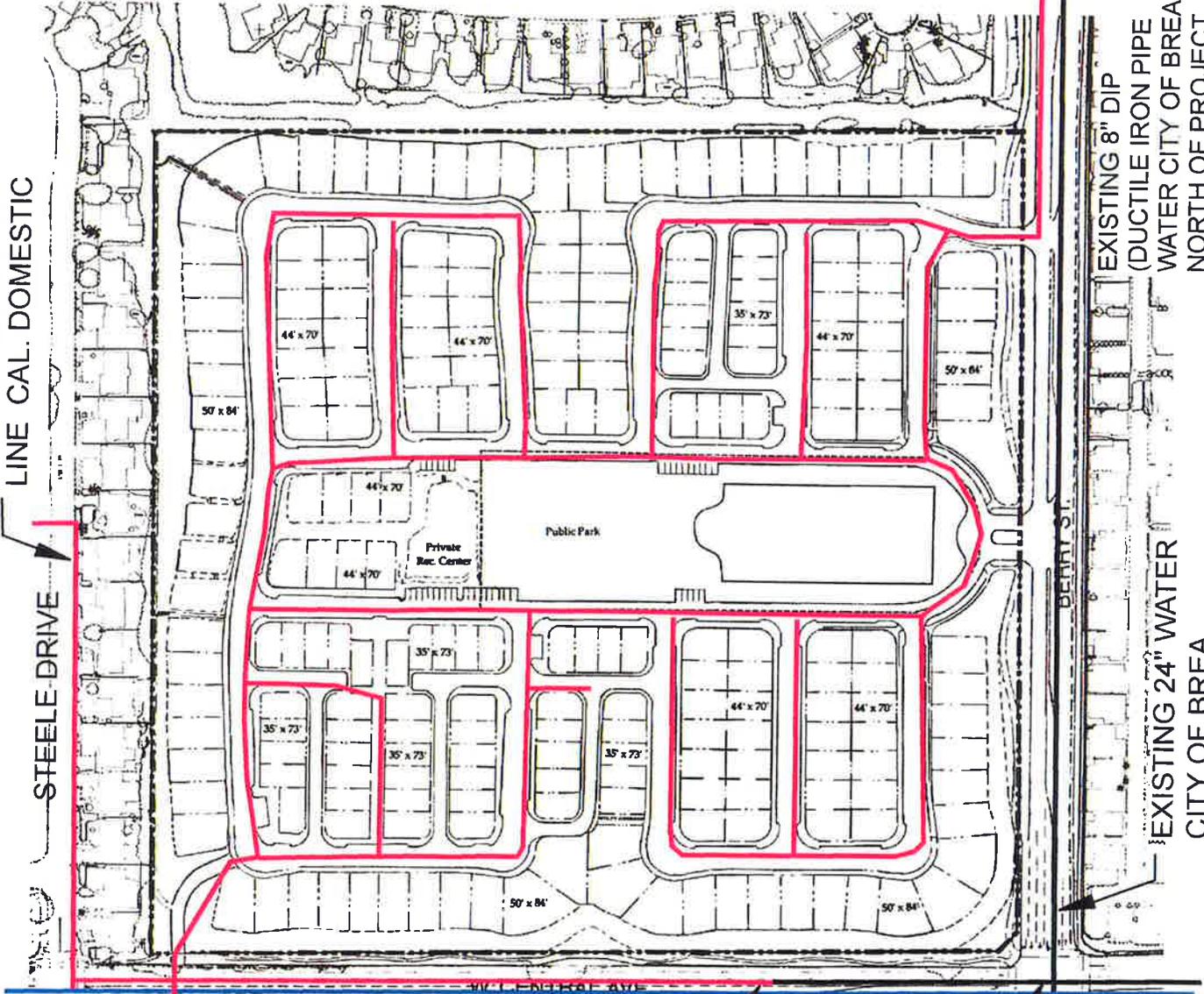
EXISTING 24" WATER  
CITY OF BREA

EXISTING 12" DIP WATER  
CITY OF BREA

RELOCATED 20"  
WATER CALIFORNIA  
DOMESTIC

EXISTING 20"  
WATER CAL.  
DOMESTIC

EXISTING  
20" MWD WATER  
(LA HABRA)



designed and constructed per City of Brea standards and as directed and approved by the City Engineer.

### ***3.5.3 Dry Utilities Plan***

Southern California Gas Company and Southern California Edison Company shall satisfy the gas and electrical requirements of the project site, respectively. Pacific Bell shall provide telephone service. Presently, there are underground electrical, telephone, cable TV, and gas facilities available to serve the site along Berry Street and West Central Avenue. Upon construction, all parcels will be provided with underground connections to electrical, telephone and cable television and gas services by the developer. The existing power poles on Berry Street (66kV) will remain in place and be located two feet behind the back of the curb for ultimate street improvements as approved by the Southern California Edison Company and the City of Brea. The corner pole northeast of the property line will need to be replaced with a metal pole as the lines turn westward along the property's northern boundary. This is necessary because use of the tie down wires on the existing pole will not be possible due to the proposed street improvements on Berry Street. All off-site dry utility improvements shall be designed and constructed per City of Brea standards and as directed and approved by the City Engineer.

### ***3.5.4 Telecommunication Links***

A multi-media home automation system will be prewired to the station of the homeowners choice for intercom, alarm systems, computers, telephones, faxes, cameras, digital satellite TV, cable television, and smart house appliances. The homes can be equipped to perform all of the following functions:

- Security, including alarms, door locks, and controls that allow the owner to open the door by remote control for a repairman to enter;
- Telecommunications functions such as telephone, TV, music, messaging, E-mail, the Internet, and faxing for the home, workplace, and individuals within the household;
- Monitoring and controlling electric and HVAC functions, as programmed and in response to environmental conditions;
- A central computer with a number of stations, some for individuals and some for home functions, with the television usually among the stations linked to the computer;
- And, turning on the lights, sprinklers, FAU (Forced Air Unit), and oven.

All off-site telecommunications improvements shall be designed and constructed per City of Brea standards and as directed and approved by the City Engineer.

**3.6 STORM DRAIN PLAN**

This section describes the overall Storm Drain Plan that will be implemented during development of the Tomlinson Park Specific Plan. The conceptual Storm Drain Plan is shown on Exhibit 3-13. Final design shall be in accordance with City drainage standards and shall be approved by the Engineering Department of the City of Brea. All off-site storm drain improvements shall be designed and constructed per City of Brea Standards and as directed and approved by the City Engineer.

The implementation of the drainage plan will require storm drain improvements. Storm drains are to be designed for a 25-year storm frequency for purposes of street flow and a 100-year frequency for protection to structures (homes, etc.). The main storm drain line within the public streets will be dedicated to the City of Brea.

**3.6.1 Existing Conditions**

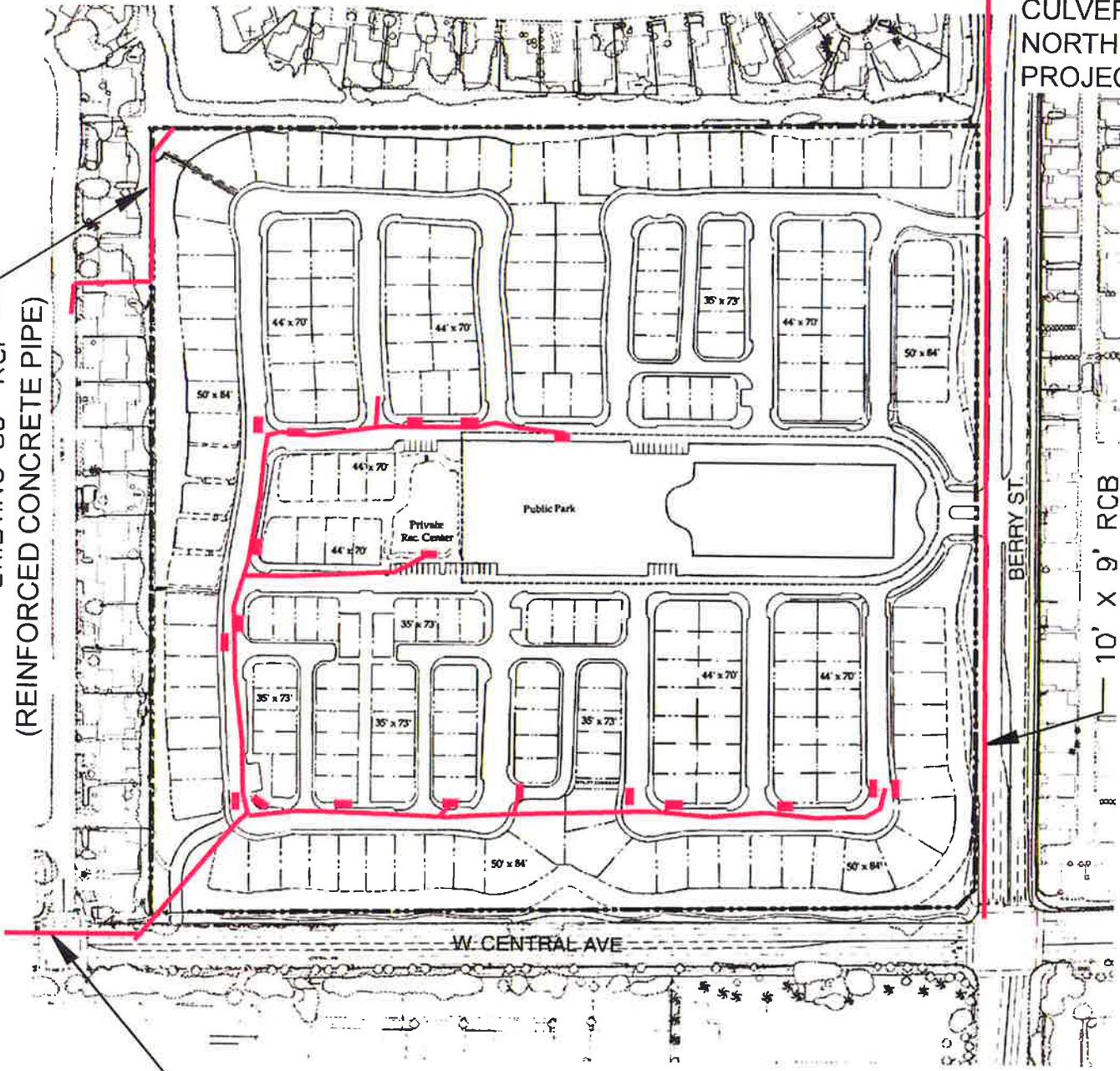
The City of Brea Master Plan of Storm Drains indicates that most of the site drains to the southwest corner of the property into an existing 30" Reinforced Concrete Pipe (RCP). The existing 36" RCP at the northwest corner of the project intercepts off-site flows from the adjacent property to the north and flows within the pipe southward along the western boundary of the site, then flows westward through the existing subdivision into Steele Drive. A small sliver of land on the easterly side which accepts offsite water from northern Berry Street drains into an existing dirt channel flowing south to an existing 10' x 9' reinforced concrete box at the intersection of Central Avenue and Berry Street. A final Hydrology and Hydraulic Study shall be submitted for the review and approval by the City Engineer.

**3.6.2 Proposed Improvements**

As shown on Exhibit 3-12, the conceptual storm drain plan depicts a storm drain system flowing generally from the northeast to the southwest. The drainage is intercepted by various proposed catch basins throughout the site and it discharges the on-site flows into the existing 30" RCP at the southwest corner of the project. The existing dirt channel along the westerly side of Berry Street will need to be improved with a 10' x 9' reinforced concrete box along the eastern property, and extends off-site to the north approximately 260 feet. Improvements to the storm drain system will need to be extended northward off-site.

EXISTING 36" RCP  
(REINFORCED CONCRETE PIPE)

+/- 260' BOX  
CULVERT  
NORTH OF  
PROJECT



10' X 9' RCB  
(REINFORCED CONCRETE BOX)

EXISTING 30" RCP (REINFORCED CONCRETE PIPE)

### 3.7 RECREATION/OPEN SPACE PLAN

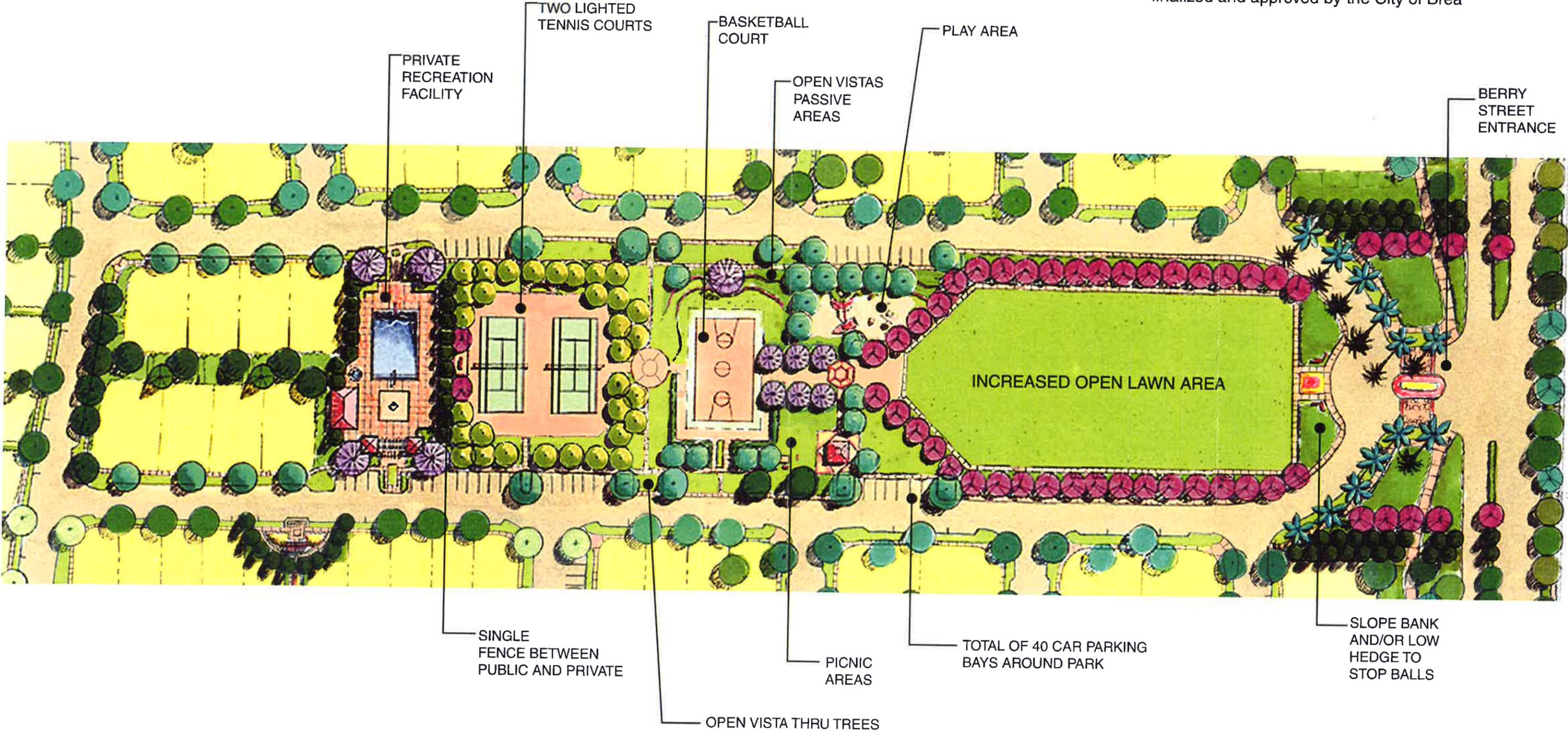
The intent of the recreation/open space plan is to establish provisions for man-made open space and recreation features in the design of the Tomlinson Park Specific Plan area. Pedestrian walkways and a centralized public park are integrated into the community to provide recreational amenities and visual relief throughout the development.

The Specific Plan is integrated with the surrounding area by a system of greenbelts, trails, and park uses. The net landscaped and hardscaped area covers approximately 3.5 acres. The gross area of the park which includes half of the perimeter circulation is approximately 4.1 acres. There is also a 0.5 acre private recreation area at the western end of the park that will be maintained by the Homeowner's Association for a total of 4.6 acres of private and public parkland. These improvements are shown on the conceptual park plan, Exhibit 3-13 and serves only as a model. The Exhibit is only a concept plan and will require further detail once the design of the park has been finalized and approved by the City. Submittal of the final park plan will occur at or before approval of the Precise Development Plan and be subject to the approval by the Parks, Recreation, and Human Services Commission. The amount and type of facilities in the public park are proposed to be at a level described in the City of Brea Parks Master Plan guidelines and facilities for neighborhood parks. The 4.1 acre public park and 0.5 acre private recreation facility include 40 non-directional parking spaces, which are located immediately adjacent to the park. Amenities for the private recreation facility shall include a pool, jacuzzi and restrooms. This facility will be made available for City rental for functions and activities.

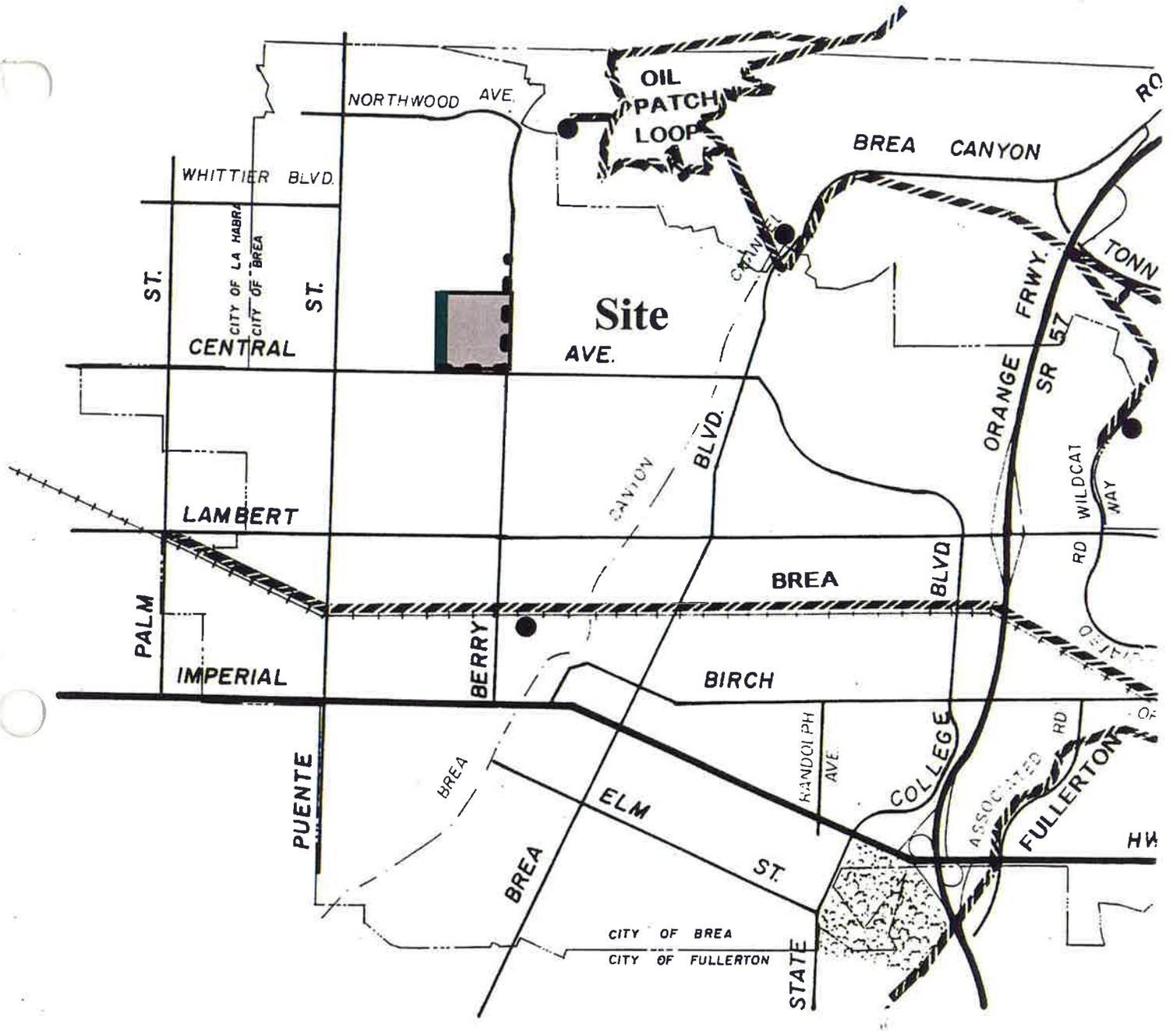
The Tomlinson Park recreation/open space plan provides additional acreage of internal open space in the form of front yard landscaped setbacks, landscaped parkways, perimeter pedestrian/bicycle trails, and a linear greenbelt that leads to the recreation center or other areas reserved as green space. The greenbelt system was designed to enhance the single-family site plan by placing the smaller lot sizes in close proximity to the internal park. Pedestrian sidewalks lead to the park and regional trail system along Berry Street, as shown on Exhibit 3-14. An eight (8) foot wide maintenance road is located on the western edge of the Tomlinson Park Specific Plan area at the rear of the Steele Drive homes.

The overall recreation plan is designed to accommodate both active and sport-minded residents as well as passive areas for children and adults. A neighborhood park is designed to have a balance of active and passive recreational uses. Active uses proposed for the park include children's creative play area, picnic areas, open lawn areas, non-lighted basketball court, and two lighted tennis courts. Passive park uses include trails, pathways, picnic and sitting areas, and open space with large, fast-growing shade trees. Site furniture will include benches, picnic tables, BBQs, drinking fountains, trash containers, and security lighting along the paths. Underneath the canopy of trees park features could include picnic areas with picnic tables, benches, BBQ's, walkways, and adjacent smaller flowering trees. Other park features may include a gazebo, trellis, viewing terrace, public restrooms, school bus stop with benches, entry ways, and a sculpture.

The park plan is only a concept plan and will require further detail once the design has been finalized and approved by the City of Brea



3.5 NET ACRE FOR PUBLIC PARK  
4.1 ACRE WITH 40 PARKING SPACES & CIRCULATION

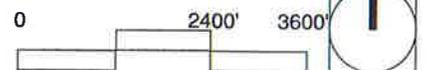


**LEGEND:**

-  CITY PROPOSED TRAILS
-  CITY PROPOSED STAGING AREA
-  PROJECT PROPOSED MEANDERING SIDEWALK (CONNECTS TO SIDEWALK TO THE NORTH OF THE PROJECT SITE)
-  MAINTENANCE ROAD

There are many pedestrian access points proposed for the Tomlinson Park project.

Exhibit 3-14



Maintenance of the internal greenbelts, expanded parkways, landscaped medians at the project entrances, shall be provided by the Homeowner's Association. The private recreation area included within Tomlinson Park will also be the responsibility of the Homeowner's Association. The 4.1 acre park will be dedicated to the City of Brea as a neighborhood park and will be required to be maintained at a level "B" based upon the Parks Master Plan. The developer will be responsible for providing funding for and constructing the public park improvements.

**4.1 PURPOSE AND INTENT**

The Tomlinson Park Specific Plan is designed to promote a quality development through innovative designs and specific attention to quality details. The purpose and intent of these development regulations is to provide development criteria to guide the developer(s)/builder(s) and the City of Brea in the design of new residential and recreational land uses.

These regulations will serve as the primary mechanism for implementation of these land uses. The regulations contained herein provide an appropriate amount of flexibility to anticipate future needs and to achieve compatibility between land uses. Principal land use designations for the Specific Plan shall be single family detached homes. In addition, an option of rental carriage units will be allowed on a maximum of nine of the 35' x 73' lots thus providing additional housing opportunities in the City of Brea.

For reference, the locations of these land use designations are shown in Exhibit 3-1, Section 3.0.

**4.2 GENERAL REGULATIONS****4.2.1 Definitions of Terms**

The meaning and construction of words, phrases, titles, and terms used in this Specific Plan shall be the same as provided in Brea Zoning Ordinance Section 20.00.070, Definitions, except as otherwise specifically provided herein (see Specific Plan Section 7.3, Definitions).

**4.2.2 General Plan Consistency**

The Tomlinson Park Specific Plan is consistent with all elements of the City of Brea General Plan, as amended. Please refer to the Appendix for a complete discussion of General Plan consistency.

**4.2.3 Zoning Code Consistency**

This Specific Plan regulates all development within Tomlinson Park Specific Plan area. Permitted uses not listed in Section 4.7 in this Specific Plan can be found in the City of Brea Zoning Ordinance Sections 20.216, 20.220, and 20.260. In cases where sufficient direction for interpretation of these regulations is not explicit in this text, the Brea Zoning Ordinance shall provide direction, as determined by the Development Services Director. In case of differences between this Specific Plan and the Brea Zoning Ordinance, the provisions and standards set forth in the Specific Plan shall prevail.

**4.2.4 Building and Construction Codes Consistency**

All construction and development within the Specific Plan shall comply with applicable provisions of the Uniform Building Code (UBC) and the various related Mechanical, Electrical, and Plumbing Codes, the Grading and Excavation Code, and the Subdivision Code as currently adopted by the city Council. In case of a conflict between the specific provisions of the codes identified above and the provisions of these regulations, the provisions of those Codes shall prevail.

**4.2.5 Council Declaration/Severability**

If any portion of these regulations is, for any reason, declared by a court of competent jurisdiction to be invalid or ineffective in whole or in part, such decision shall not affect the validity of the remaining portions of this Specific Plan. The City Council hereby declares that they would have enacted these regulations and each portion of this Specific Plan irrespective of the fact that one or more portions may be declared invalid or ineffective.

**4.2.6 Maximum Dwelling Units**

A maximum of 240 residential dwelling units are permitted within the Tomlinson Park Specific Plan area (includes nine optional for-rent carriage units). The rental carriage units are allowed on a maximum of nine of the 35' x 73' lots as a builder's option. This space may be built as a detached bonus room if the carriage unit is not selected.

**4.2.7 Specific Plan Density**

- a. The maximum dwelling unit density permitted within the Specific Plan area, as designated on Exhibit 3-1, Land Use Plan, shall apply to the overall Specific Plan area, not to any particular division of that area.
- b. Computation of Specific Plan Density shall be based on net acreages, which is computed to the right-of-way of the perimeter streets (i.e., West Central Avenue, Berry Street) and shall include the public park.

**4.2.8 Specific Plan Area Boundaries**

Specific Plan Area boundaries and acreages contained in this Specific Plan are approximate and based upon current information and a generalized level of mapping. Final Specific Plan boundaries shall be established by the Site Plan and/or Tentative/Final Tract Map approval. Revisions to Planning Area Boundaries shall not increase maximum dwelling unit densities as designated on Table 3-1.

**4.2.9 Grading**

Grading plans for all projects in the Tomlinson Park Specific Plan area shall be consistent with applicable City of Brea codes and ordinances. More detail on the proposed phasing plan is located in Section 6.2 of this Specific Plan.

Grading shall be permitted within development and park areas of the Specific Plan and outside the area of immediate Tomlinson Park development area for the grading of public roads, park facilities, infrastructure, and other development-related improvements. Remedial grading for development shall also be permitted in areas for purposes of consistency outside the Tomlinson Park Specific Plan project limits on surrounding streets to address geotechnical factors or soils engineering requirements.

**4.2.10 Public Utilities**

Public utility structures and facilities including, but not limited to, electrical, water, sewer, storm drain, telephone and television, and their placement, distribution, treatment and/or production

required to carry out development are permitted in all areas within the Specific Plan as approved by the City Engineer and City Planner.

**4.3 TOMLINSON PARK DEVELOPMENT STANDARDS***a. Purpose and Intent*

The Tomlinson Park Specific Plan Development Standards provide for the development of single-family housing with the potential to develop a maximum of nine for-rent carriage units. Community facilities and other uses and structures accessory to the principal permitted uses are also allowed pursuant to Section 20.216.020 of the Brea Zoning Ordinance.

*b. Development Standards:*

The development standards for Tomlinson Park are shown on Table 4-1. For any development standard not addressed by the Specific Plan, the City of Brea Zoning Ordinance Section 20.08.035 - Small Lot Development Standards shall apply.

**4.4 SIGN REGULATIONS**

1. Except as provided herein, the provisions of Chapter 20.28 of the City of Brea Zoning Ordinance shall apply.
2. Addresses on buildings shall be as follows:
  - A. All residential units shall be required to have one (1) illuminated or non-illuminated nameplate not exceeding one (1) square foot indicating the address of the dwelling unit. Said nameplate shall have address numbers no less than three (3) inches in height. Said nameplate shall be placed on the front and rear of structures where garages face alleys. Nameplates for carriage units shall be located in a conspicuous place near the main entrance to the unit.
  - B. Addresses shall be placed at a location acceptable to the Fire Department.
  - C. Addresses shall greatly contrast with the background.
  - D. Addresses shall be posted on gates that take access from alleys.

**4.5 TEMPORARY PERMITTED USES**

The following temporary uses shall be permitted within all areas within the Tomlinson Park Specific Plan:

1. Temporary Tract Sales Offices.
2. Temporary Parking Compounds for Contractors' Equipment.

Table 4-1 Development Standards				
<b>Lot Size</b>		2,550 s.f.	3,080 s.f.*	4,200 s.f.
<b>Lot Dimension</b>	Interior	35' x 73'	44' x 70'*	48'-52' x 84'
	Corner	40' x 73'	50' x 70'*	55' x 84'
<b>Size of House Plan (approximate)</b>		1,300 - 2,600 s.f.	1,650 - 2,500 s.f.	2,100 - 3,200 s.f.
<b>Single Story Units</b>		N/A	N/A	2,305 - 2,700 s.f.
<b>Optional Carriage Unit</b>		600 - 700 s.f.	N/A	N/A
<b>Total Units for Sale</b>		63	92	76
<b>Minimum Single Story Units</b>		0	0	23
<b>Maximum Carriage Unit</b>		9	N/A	N/A
<b>Parkway Between Sidewalk and Curb</b>		yes	yes	yes
<b>Maximum Lot Coverage</b>	Two-story units	60%	60%	60%
	Single-story units	N/A	N/A	65%
<b>Sidewalk on both sides</b>		yes	yes	yes
<b>Basements allowed</b>		yes	yes	yes
<b>Front Setback (from back of sidewalk)</b>	Patio/Hardscape	3'	3'	3'
	Structure	10'	10'	10'
	Covered Porch or Trellis	6'	6'	6'
	Low Decorative Fence	6"	6"	6"
	Garage (Front Entry)	N/A	18' with roll up garage door	18' with roll up garage door
<b>Side Setback Interior</b>		min. 8' building separation	min. 8' building separation	min. 8' building separation
<b>Side Setback Corner (from back of sidewalk)</b>	Low Decorative Fence	6"	6"	6"
	Covered Porch or Trellis	4'	4'	4'
	Garage	4'	4'	4'
	Structure	8'	8'	8'
	Carriage Unit Stairs	3'	N/A	N/A

Table 4-1 Development Standards				
Lot Size		2,550 s.f.	3,080 s.f.	4,200 s.f.
Rear Setback	Structure	3'	4'	5'
	2 <sup>nd</sup> Story Carriage Structure	0	N/A	N/A
	Garage (alley loaded)	3' to structure 5' to face of garage	N/A	N/A
Garage Placement	Alley-loaded	yes	N/A	N/A
	Rear location	yes	43 %	50 %
Maximum Building Height		35'	35'	35'*
Maximum Stories		3	3	3
Parking	For sale	2 - garage, 1 - on street	2 - garage, 1 - on street	2 or 3 - garage, 1 - on street
	Carriage unit	1 - garage, 1 - on street	N/A	N/A
<p>* See Exhibit 5-24 for exact dimensions of lot size and fence line locations.</p> <p>Notes:</p> <ol style="list-style-type: none"> <li>1. No on-street parking will be permitted in alleys.</li> <li>2. Lot widths on the 50' x 84' lots must be a minimum 48.</li> <li>3. The reciprocal easements may be used on all lot sizes.</li> <li>4. The single story houses on the 4,200 s.f. lots may not exceed a maximum height of 18 feet. The modified single story houses with livable attic space may not exceed a maximum height of 21 feet.</li> </ol>				

3. Real Estate Signs relating to the sale, lease or other disposition of real property on which the sign is located are permitted. These signs must be temporary in nature, and they must conform to the provisions of Section 20.28.080 of the Brea City Code.
4. New Home Sales/Flags.
5. Model Homes (Temporary Real Estate Offices) -- The subdivider may construct five or fewer model homes per product type for the temporary purpose of using them as displays to aid the subdivider in effecting the marketing of the property. Any of these model homes or model home garages may also be utilized on a temporary basis as a real estate office. The temporary use of a model home real estate office (hereinafter referred to as a "model home") shall be subject to all of the following conditions.
  - a. A model home must be located on a lot established on an approved Tentative Tract Map. A model home plan must be submitted and approved by the

Director of Planning Services prior to the start of vertical model construction. The models may be constructed within Phase 1 or Phase 2.

- b. A model home must meet all Site Development Standards set forth in the Tomlinson Park Specific Plan.
- c. Permanent occupancy of the model home and/or real estate sales office shall not be permitted prior to the recordation of a final tract map encompassing the subject property. The garage of each model home shall be restored prior to permanent occupancy.
- d. If the final tract map encompassing the property upon which a model home is situated is not recorded within the time allowed pursuant to the California Subdivision Map Act and all City ordinances, resolutions, rules and regulations, the subdivider will demolish any model home constructed and remove any and all buildings and structures from the site. In that regard, prior to the issuance of a building permit for any model home, the subdivider shall provide security in the form of cash, bond or any other form satisfactory to the City Attorney and the Director of Development Services, guaranteeing the discharge of any obligation which the subdivider incurs to demolish a model home and remove all structures and buildings from the site.
- e. Subsequent to the recordation of a Final Tract Map encompassing the area of a model home, the parcel of real property upon which the model home is situated, as well as the model home, may be sold and occupied as a residence, provided that the home and property comply with all applicable Site Development Standards contained in this Tomlinson Park Specific Plan.

#### **4.6 PERMITTED USES**

Permitted uses for the Tomlinson Park Specific Plan area are listed below. Refer to the City of Brea Zoning Ordinance Sections 20.216 and 20.220 for other uses not listed. Principal permitted uses subject to an Approved Precise Development Plan:

1. Single-family dwelling units and for-rent carriage units subject to density limits.
2. Accessory buildings and structures including garages, patios, gazebos, arbors, trellis work and other similar structures.
3. The following animals may be permitted: three (3) dogs or three (3) cats, or any combination thereof, not exceeding four (4) adults four (4) months-of-age or more. Other household pets which are neither farm animals, exotic or wild animals, such as domestic mice and rats, hamsters, guinea pigs, turtles, tropical fish, canaries, birds

of the psittacine family, and other similar animals commonly sold in pet stores and kept as household pets, may also be kept, so long as animals are not maintained for commercial purposes, do not constitute a nuisance, are adequately provided food, care and sanitary facilities, and do not exceed a total of six (6) animals (fish being exempt). Their offspring shall not be counted until four (4) months from birth.

4. Home occupations pursuant to Section 20.36 of the Brea Zoning Ordinance.
5. Parks, playgrounds or community centers owned and operated by a government agency.

#### **4.7 ADDITIONS TO HOMES**

Specific additions are allowed on the Tomlinson Park Specific Plan area. They are as follows:

1. Accessory structures such as pools are permitted only on 50' by 84' lots. Spas are permitted on all lots. The location of the blower on the spa must be in the area that would create the least amount of noise for surrounding neighbors. Spas and pools are only allowed on the owners property and not in areas of reciprocal easement.
2. Additional rooms and other additions to homes will be allowed. The area shall not exceed the setbacks set forth in Table 4-1 Development Standards in the Tomlinson Park Specific Plan or setbacks defined in Sections 20.08.035 in the City of Brea Zoning Ordinance.
3. No more than 60% of a lot shall be covered by two-story buildings and structures. Lots with single story homes may allow 65% lot coverage. All additions must be consistent with the maximum lot coverage percentage.
4. Building height shall have a height no greater than thirty-five (35) feet. All additions must be consistent with the maximum height allowed. This maximum building height shall not apply to those houses identified as single story or modified single story with livable attic. The single story houses may not exceed a maximum height of eighteen (18) feet. The modified single story houses with livable attic may not exceed a maximum height of twenty-one (21) feet.

**5.1 PURPOSE AND INTENT**

The Tomlinson Park Specific Plan Design Guidelines are statements which express the desired character of future development for the project area. They are the design criteria which will be adhered to with each development proposal within the Specific Plan area, and apply to three main topical areas: architecture, streetscape elements, and landscape design. The developer of the project will be able to draw from this and expand upon these concepts in order to maximize the success of development consistent with market needs, aesthetic satisfaction, and community goals.

The Design Guidelines are intended to be implemented on a project-wide level. General design statements and guidelines have been established which may be applied project-wide to achieve an overall consistency and quality for such features as landscaping treatment and community design guidelines. Included in this level are design standards for community landscape features and streetscapes, down to such details as appropriate building mass and scale. This level also sets forth parameters for architectural design of residential and park structures. The purpose of the Design Guidelines are as follows:

- To provide the City of Brea with the necessary assurance that the Specific Plan area will develop in accordance with the quality and character proposed herein.
- To provide guidance to developers, builders, engineers, architects, landscape architects, and other professionals in order to maintain the desired design character and appearance.
- To provide guidance to City staff, Planning Commission and the City Council in the review of future development projects in the Specific Plan area.
- To encourage new development in the Specific Plan Area which is compatible with existing development in the project vicinity, while allowing flexibility for innovative and creative design solutions that respond to contemporary market trends.

The design guidelines which are contained in this document, have been developed as a method of controlling the overall design statement within the Tomlinson Park Specific Plan area. The guidelines seek to encourage creativity while providing an overall vision for the proposed project.

### 5.2 *SPECIFIC PLAN PRECISE DEVELOPMENT PLAN REVIEW*

Conceptual plans are included as part of this Specific Plan including conceptual site plan/grading plan, conceptual landscape plan, illustrative plan/park plan and these Design Guidelines. Following Specific Plan approval, the applicant shall then submit the plans noted below as part of the Precise Development Plan submittal, along with any changes recommended by the Planning Commission and/or City Council. The Precise Development Plan submittal shall include but not be limited to the following information:

1. Site Plan (with an ALTA Survey):

- Show lot lines accurately, including length, angles, reciprocal easements and amount of curve.
- Show all structures, fences, walks, setbacks, sidewalks, slopes, swales and culverts, power lines, and street rights-of-way contiguous to the lots, etc.
- Show all dimensions of work to be considered, distances between existing and proposed work and property lines.
- Show required building envelope setbacks.
- Show street cross sections and other cross sections required by the City.

2. Landscape Plan:

The plan should include fences, walls, trees, drainage, slope stabilization, grading, and mechanical equipment. In addition, the plan must identify all plant types and sizes and be consistent with the landscape standards set forth in these Design Guidelines:

- Show drainage for surface and subsurface, including direction of flow and type and size of facility.
- Show soil preparation and materials proposed for soil stabilization or method of slope stability and irrigation specifications.
- Show type, size, and location of all plant materials.
- Show location, material, and color of fences and walls.
- Show slopes (2:1 minimum) or any slope that is below 2:1.
- Show cut-sheets of proposed site furnishings including benches, picnic tables, BBQ facilities and play equipment.

3. Grading Plan:

Show existing contours and proposed changes to finished grade and drainage concept plan, including:

- Show fences and retaining walls proposed.
- Show contours, flow lines, and finished grades.

- Grading plan should be prepared by a registered civil engineer in the State of California.
- Show drainage pattern, drainage system, and downspout points of connection.
- Show slopes (2:1 minimum) or any slope that is below 2:1.
- All grading and grading plan information shall be in conformance with City of Brea standards.

Note: Special attention should be given to soil preparation. It is recommended that the service of a qualified landscape architect and/or soils consultant be retained to prepare plans and prescribe soil treatment prior to submittal. In addition, such soils testing and geologic information as may be required for grading plans review and building permit application shall not be negated by any guidelines set forth herein.

#### 4. Floor Plans:

- Indicate all walls, columns, openings, and any conditions or feature that will affect the exterior design of the structure.
- Scale accurately all items and parts of plans and details, including balconies, decks, atriums, garages, storage buildings, square footage of total useable floor area, pools, recreation areas, and patio covers.
- Include notes on all exterior items that cannot be clearly noted on the elevations.

#### 5. Elevations:

- Provide exterior elevations to scale of all proposed buildings. All horizontal elevation points must be shown on the elevations (i.e., ridge lines, balconies, and terraces).
- All finish materials, colors, and textures should be identified.
- Elevations must be drawn with realistic (true to scale) shadows.

Elevations must be accompanied with a trace overlay of landscaping using the actual style and shape of the plant material proposed.

#### 6. Exterior Colors and Finishes:

All colors and materials must be presented on a sample board and on an elevation sheet. The sample board or elevation sheet must clearly indicate which color(s) and material(s) will be used on each portion of the structures. All colors and materials must be identified with a manufacturer's name and list number. A sample of the roofing material must also be provided.

### 7. Fence and Wall Plans:

Drawings must include specifications of materials, color, and height. Heights should also be shown in relation to adjacent ground elevations. The site plan and grading plan should clearly indicate the location of proposed construction including location and height of existing fences, wall, and other structures.

### 8. Community and Neighborhood Entrance Designs:

- Provide exterior elevations to scale of all proposed structures including signage. All horizontal elevation points must be shown on the elevations.
- All finish materials, colors, and textures should be identified.
- Elevations must be drawn with realistic (true to scale) shadows.

Elevations must be accompanied with a trace overlay of landscaping using the actual style and shape of the plant material proposed.

### 9. Lighting Plan:

- Provide a lighting plan for the park and separate street lighting plan showing types of proposed lighting and location prepared by a registered electrical engineer.

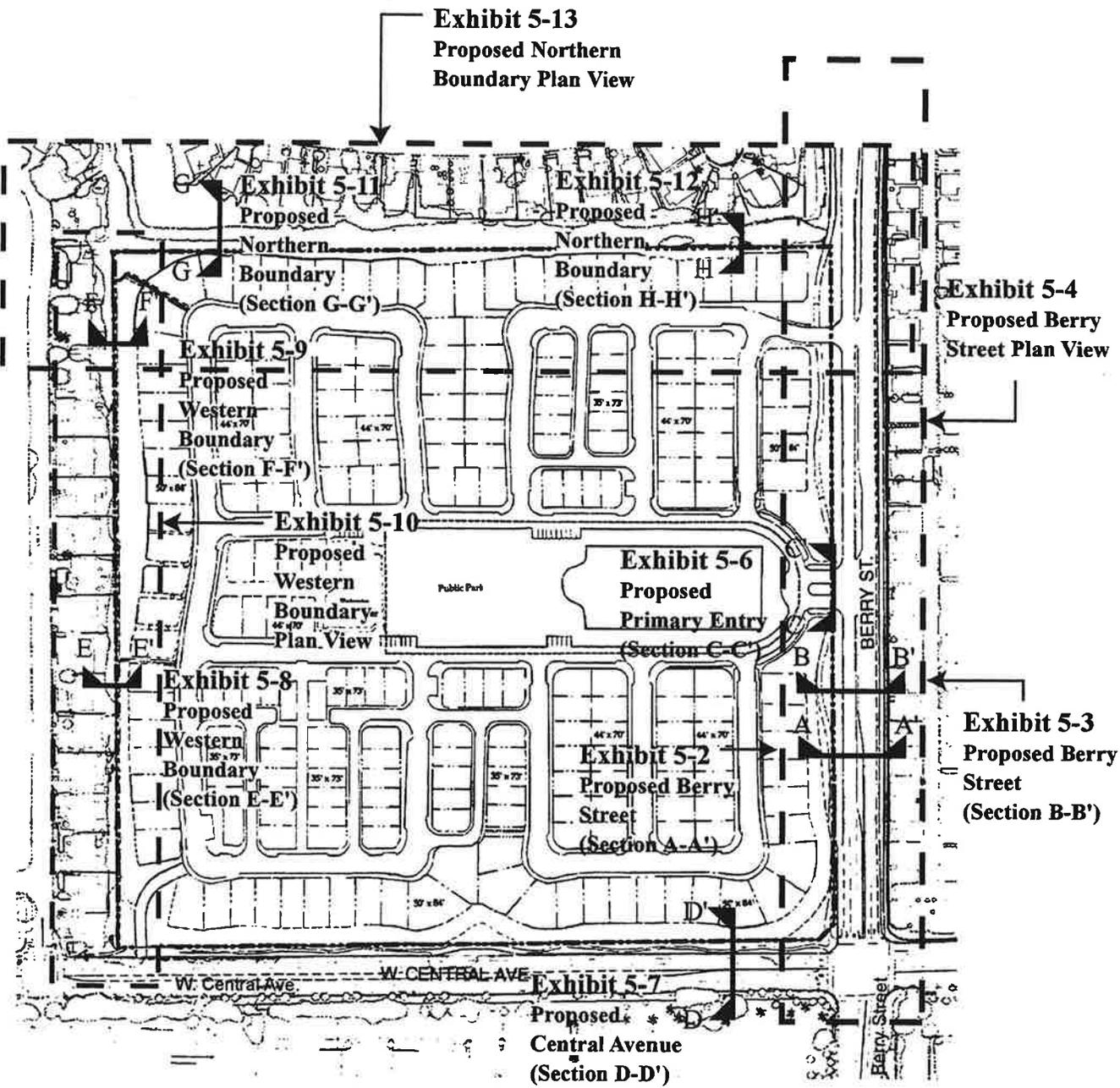
### 10. Model Complex Plans:

- Show numbers of models, model parking, ingress and egress to models, model signing, flags, etc.

The lighting plan will be designed and constructed by the builder and will require future review. The Planning Commission shall review the Precise Development Plan following Section 20.260 of the Brea City Code.

### **5.3 EXTERIOR DESIGN GUIDELINES**

The following Design Guidelines govern the landscaping, walls, fences, and lighting for areas on the exterior of the proposed Specific Plan area. These design guidelines have been developed in order to achieve a high quality, cohesive design theme for Tomlinson Park while maintaining compatibility with the existing neighborhoods surrounding the Specific Plan area. The following Exterior Design Guidelines integrate the proposed project with the surrounding neighborhoods and provide improvements to the surrounding area where necessary. Cross sections of different segments of the proposed project were designed to aid in the visualization of the proposed project. The locations of these cross sections can be seen in Exhibit 5-1.



Note:

 Indicates the approximate location of cross sections.

 Indicates approximate areas covered by exhibits in plan view.

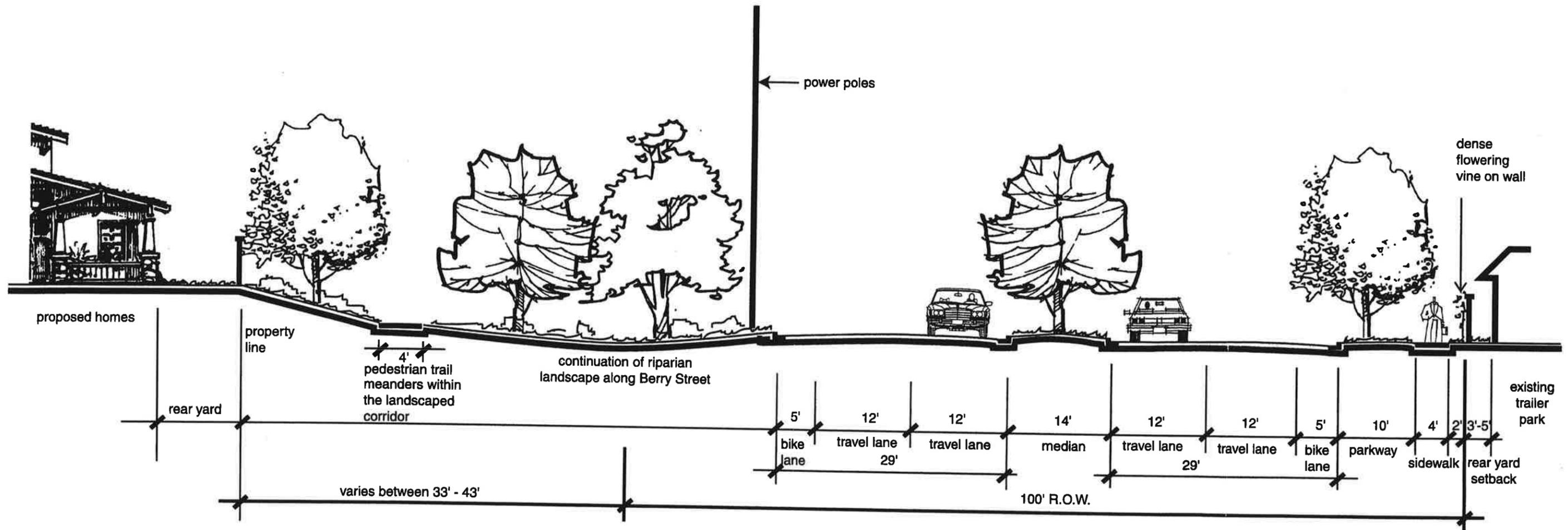
**5.3.1 Berry Street****1. Landscaping****East Side of Berry**

The existing eastern edge of Berry Street has a visual image that can be greatly improved. The existing condition consists of a block wall with mobile home setbacks of three to five feet, a low intermittent hedge, and a sidewalk that is adjacent to the curb and against the wall in places. The wall might also have some foundation constraints that require improvements. As shown in the cross sections in Exhibit 5-2 and Exhibit 5-3, visual enhancements including landscaping will be provided by the builder or developer on the eastern side of Berry Street to buffer the view of the existing mobile home park. The cross section in Exhibit 5-2 incorporates the 14-foot median without a left turn lane into the project site. Exhibit 5-3 shows a left-turn lane turning into the main entrance of the project site with a four-foot median. In addition, a northbound on-street bike lane will be provided by the builder or developer as a part of the plan. A 10-foot landscape parkway will be planted with tree massing to screen the view of the mobile home park. A two-foot landscape edge will be planted against the existing wall containing vines that cover the wall and hedges providing variety to the linear nature of Berry Street. The engineering cross section for all of Berry Street within the proximity of the subject site is provided in Exhibit 5-4. Areas to the east of Berry Street, including the medians and to the north of the subject site, will be maintained by the City. The landscape maintenance plan, shown as Exhibit 5-5, denotes which entities (City, Homeowner's Association, etc.) will build and maintain portions of the Tomlinson Park plan.

**West Side of Berry**

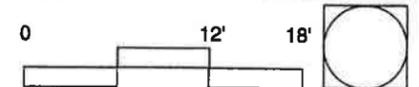
The western edge of Berry Street will be a continuation of the riparian landscape pattern established with the subdivision to the north. Landscaping along the western edge will vary between 33 feet to 43 feet from the curb to the rear yard with more landscaping provided at the corners and entry. The powerline poles along Berry Street are proposed to remain in a similar relationship to the curb as the poles located on the south side of West Central Avenue but may be relocated. This will accommodate a southbound on-street bike lane and an off-street trail within a common multi-use trail. In order to maintain the riparian look, the greenbelt will have a slight swale, though not intended to carry water. The storm drain at the intersection of Berry Street and West Central Avenue will be extended up Berry Street several hundred feet to the north of the project site. The builder will plant the landscaping on Berry Street and the Homeowner's Association (H.O.A.) will provide the maintenance on the west side of Berry Street.

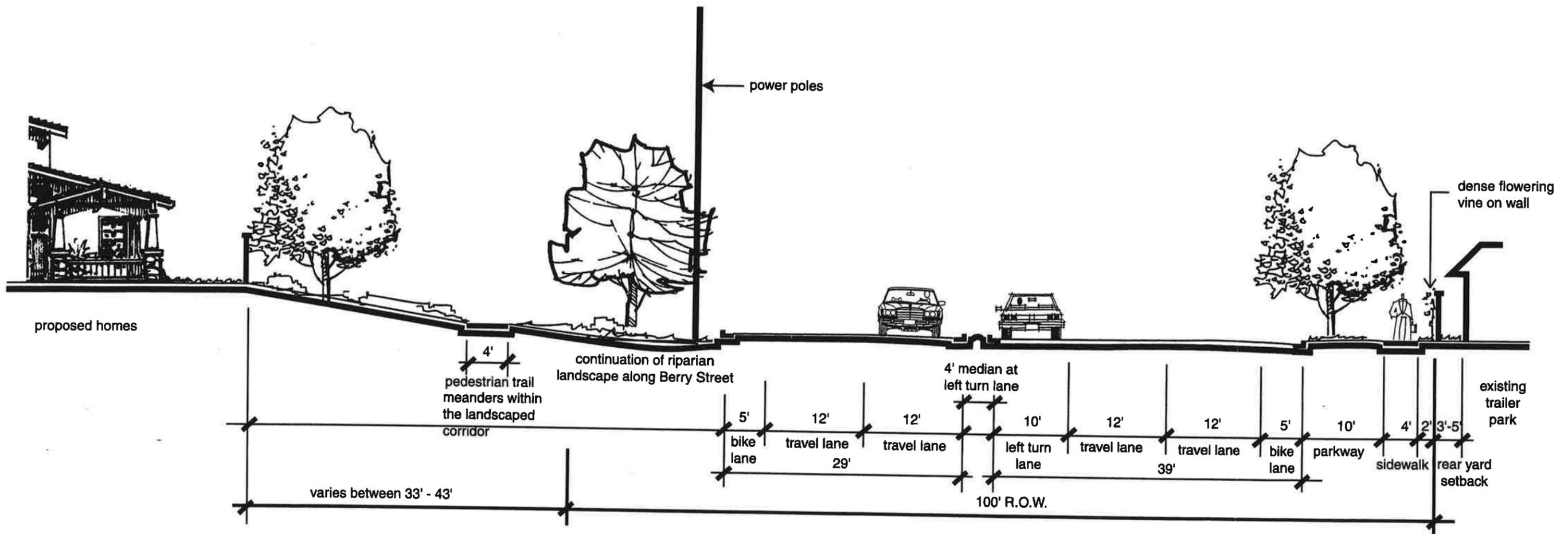
An alternate street cross section for Berry Street has been prepared which significantly reduces the associated improvement costs, as shown on Exhibit 5-6. This alternative street section will utilize the existing curb, gutter, stormdrain, and landscaping on the eastern side of the street. The center median will consist of painted lines rather than a raised landscaped median. Full improvements will be completed along Berry Street including the transition north of the site for stormdrain and paving. The



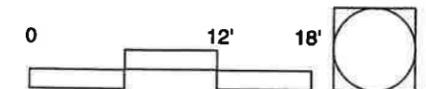
**Engineering Note:**  
 This exhibit is conceptual in nature. The final engineering drawings will be submitted for review and approval by the City Engineer prior to Final Map recordation.

- note: 1. Removal of existing sidewalk, curb and approximately 8 feet of street.  
 2. Shifting existing curb and street approximately 16 feet away from existing wall to allow for landscape edge on east side of Berry.



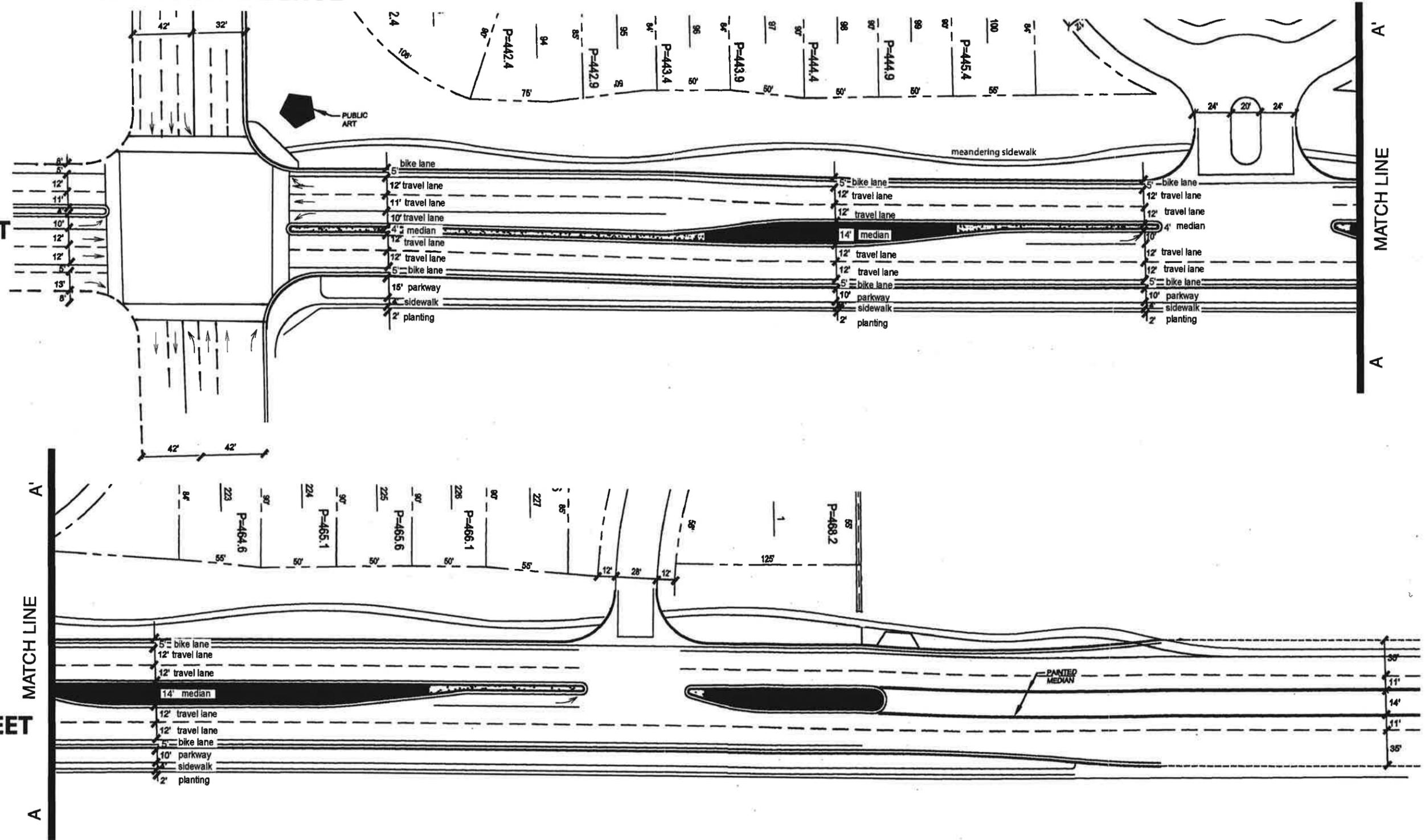


- note: 1. Removal of existing sidewalk, curb and approximately 8 feet of street.  
 2. Shifting existing curb and street approximately 16 feet away from existing wall to allow for landscape edge on east side of Berry.  
 3. No landscaping on 4' median.

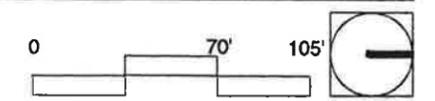


**W. CENTRAL AVENUE**

**BERRY STREET**



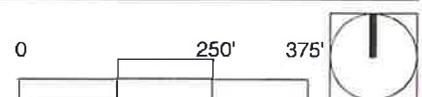
SOURCE: Tetra Tech, Inc.





### Legend

AREAS	CAPITAL COST	INSTALL	MAINTAIN
front yards, corner lots	builder	builder	home owner
parkway, private rec. center common areas	builder	builder	HOA parkways-home owner
Berry St., W. Central Ave. western slope areas	builder	builder	Homeowners Association
public park	builder	builder	City
public street, sewer, water, storm drain, street light, street trees, medians, street right of way, Emergency Vehicle Access	builder	builder	City



**Primary Entry**

Landscaped entry features within the Tomlinson Park Specific Plan area are designed to serve as accent points, provide view corridors into the project, and introduce the theme and character of the Tomlinson Park community through the extensive use of trees and accent plantings. Enhanced entries into the project site establish the project-wide landscape theme. As shown in Exhibit 5-6, tall vertical trees will be located on the parkways about 70 feet apart from each other. The design incorporates an adequate view corridor so that the public park may be seen from Berry Street. The entry will provide 20 foot ingress and egress on each side of the 20-foot median with a 10-foot landscaped parkway and 4-foot sidewalk on either side of the travel lanes. The Homeowner's Association will be responsible for the maintenance of the greenbelt area adjacent to the 50' by 84' homes. Maintenance directly on Berry Street will also be performed by the H.O.A.

**Secondary Entry**

The secondary entry is located further north on Berry Street and is marked by a grouping of flowering trees to denote entry. The trees are located on the east side of Berry Street, directly across from the secondary entry, on the median, and on either side of the secondary entry. In order to obscure views upon project entry and from Berry Street, the roadway is curved and reduced to 28 feet with no parking on either side. To further obscure views, the curved roadway will be planted with an 85-foot greenbelt containing evergreen trees. Two small entry monuments will be located at the corners of the second entry. The low entry monuments will be surrounded by grass and other small plants. A cross section of the entry can be seen in Exhibit 3-6, designated as "B" and its location is specified in Exhibit 3-5. Maintenance will be performed by the H.O.A.

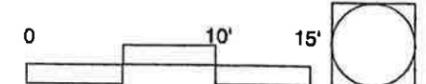
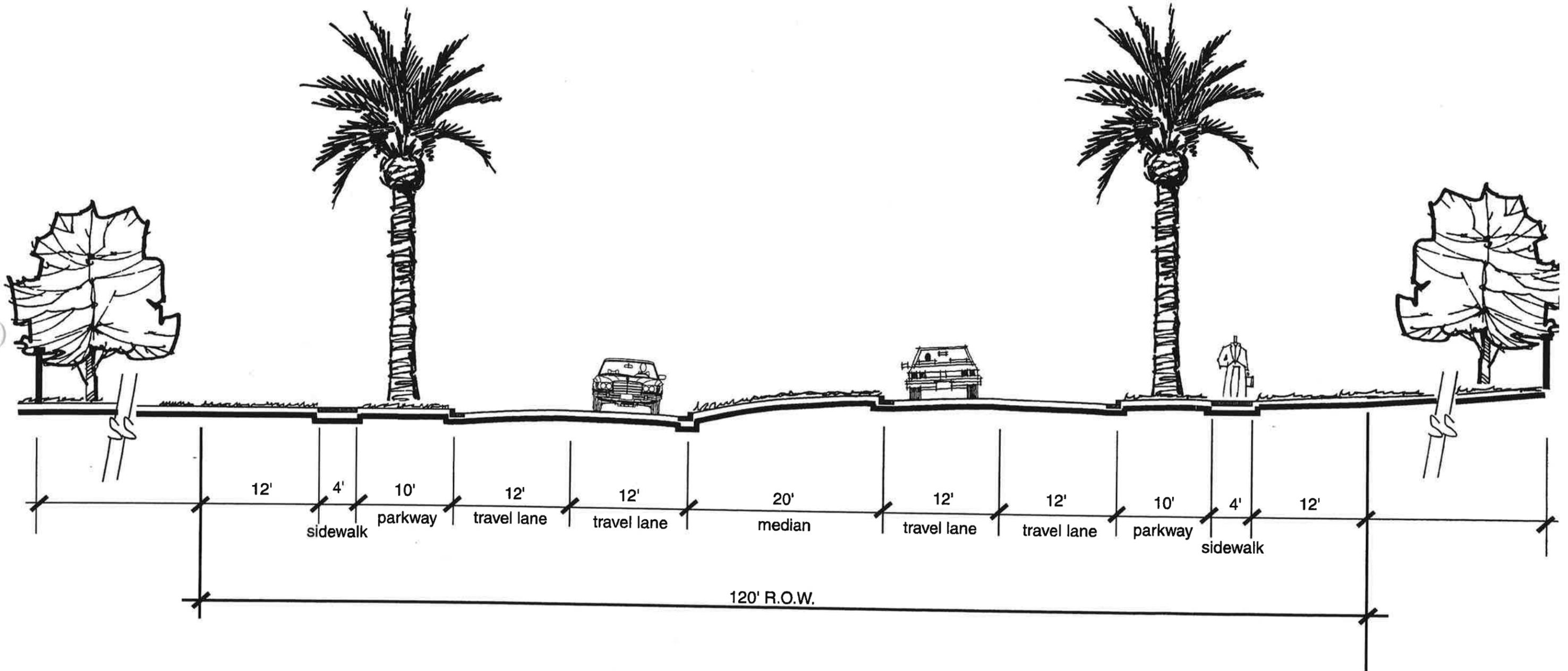
**2. Walls and Fences**

A six-foot split face or similar masonry wall will be located on the western side of Berry Street and will extend the entire length of Berry Street. For short distances, retaining walls may also be required. The masonry wall will be screened with flowering climbing vines and opaque plant material in order to obscure the wall. Maintenance will be the responsibility of the H.O.A. with initial construction to be performed by the builder. Please refer to Section 5.4, "Project Interior Design Guidelines," for additional information on walls and fences.

**3. Lighting**

The lighting along both sides of Berry Street will consist of standard lighting. The primary entry will also include lighting typically seen in Brea. The entry structure, signage and project markers will be lit to denote entry and create a dramatic evening effect. Lighting will abide by City standards with a possible neotraditional style duplicating the interior street lighting of the project interior.

← Roadway enters into 300' of open space →



#### 4. Maintenance

The builder will provide landscape installation services for all of the Tomlinson Park Specific Plan area, as shown on previous Exhibit 5-5. The Tomlinson Park Homeowner's Association will provide landscape maintenance for the landscape riparian corridor along the west side of Berry Street. The cost of upkeep and maintenance for the landscaped improvements north of Tomlinson Park on the east and west side of Berry Street will be the responsibility of the City. The medians and the east side of Berry Street will also be maintained by the City. Instead of the City maintaining the Berry Street right-of-way, which consists of the street and the curbs on both sides, the H.O.A. will maintain the west side of Berry Street and the City will maintain the east side.

##### 5.3.2 West Central Avenue

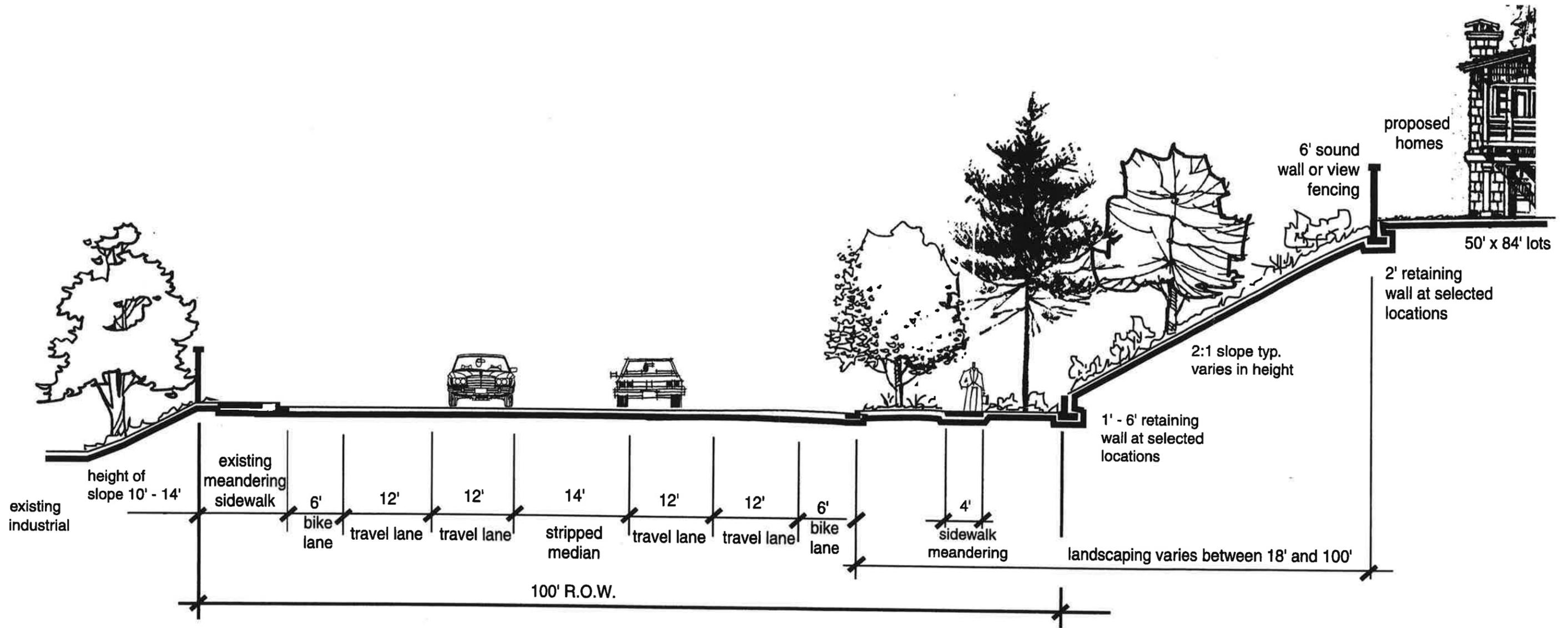
#### 1. Landscaping

There are no general-access vehicular entry points on West Central Avenue into the project site. There is an Emergency Vehicle Access (EVA) located on the southwest corner of the project adjacent to West Central Avenue. The project has been designed to provide an uninterrupted greenbelt edge and setback above West Central Avenue to the single-family homes on the largest lots. The slopes have been rounded and contoured at either corner and the middle of the block to accomplish two things. First, the rounded landscaped setback creates a favorable impression traveling on West Central Avenue from either the east or west. Secondly, the splaying of the lots at these rounded areas breaks up any linear feeling. Additionally, the contoured setback gives the appearance of larger yards and larger separations between homes than is typical. As shown in Exhibit 5-7, West Central Avenue is a four-lane divided roadway with a striped median.

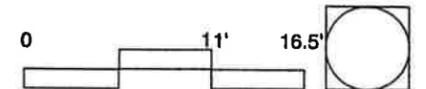
A landscaped parkway will be provided on the north side of West Central Avenue. An on-street striped bike lane is provided on both sides of the street. An existing meandering sidewalk is located on the south side of West Central Avenue. A four-foot meandering sidewalk for pedestrian use and parkway will be constructed on the northern side of the roadway. Landscaping will also meander in order to break up the linear appearance of West Central Avenue. Landscaping will vary between 25 and 100 feet from the curb on West Central Avenue to the masonry wall or glass view fence at the edge of the rear yards. Vegetation will include flowering vines along the masonry wall with a grove of trees located at the rounded corners and the concaved area located at the center of West Central Avenue. The landscaping will provide layering and variety to the streetscene. The EVA will include landscaping at its West Central Avenue entrance, along its slopes and at its project entrance in order to reduce the impact of the lane's paved width and to enhance the pedestrian experience. Landscaping adjacent to the EVA will not be designed in such a way as to impede the entry of emergency vehicles.

#### 2. Walls and Fences

The wall along West Central Avenue will be a continuation of the wall along Berry Street. A low retaining wall will be located downslope at selected locations. The six foot masonry sound wall or view fence will be constructed at the rear of the lots facing West Central Avenue. The wall will be rounded at the corners and in the center in order to provide more landscape area and to break up the



**Engineering Note:**  
 This exhibit is conceptual in nature.  
 The final engineering drawings will  
 be submitted for review and approval  
 by the City Engineer prior to Final  
 Map recordation.



linear view. The retaining walls will be placed in selected locations and will be no more than 5 feet in height for a short distance at one location.

As stated above, the wall will be screened with flowering vines and shrubbery. A retaining wall no more than five feet in height will be placed at the bottom of slope beginning at the utility corridor at the southwest corner of the property and will extend for a short distance. The wall will drop down to zero in the eastern direction approximately over 150 feet away (see Tentative Tract Map for a more precise value). There will be approximately three other retaining walls on the bottom of slope with a maximum of two feet in height. Those locations and lengths can be seen in the Tentative Tract Map and may be subject to change pending final approval.

### **3. Lighting**

Street lighting along West Central Avenue will consist of the standard City light fixtures. All lighting shall be placed per City standards.

### **4. Maintenance**

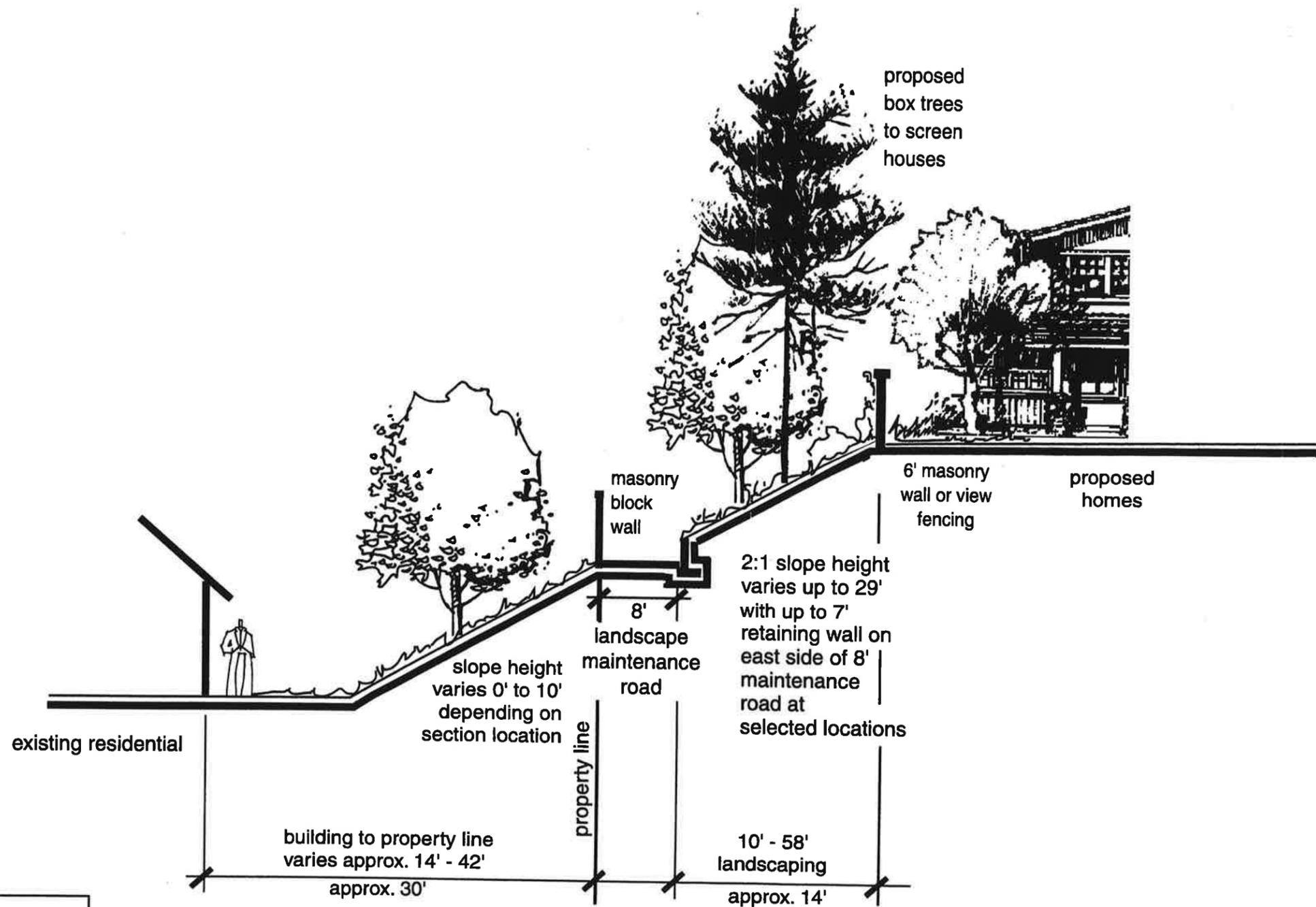
The area from the back of the sidewalk of the northern portion of West Central Avenue bordering the project area will be maintained by the Tomlinson Park H.O.A. The Tomlinson Park H.O.A. will also be responsible for maintaining areas in public right-of-way including area from curb to the right of way. The Emergency Vehicle Access (EVA) will be maintained by the City.

#### **5.3.3 Western Boundary**

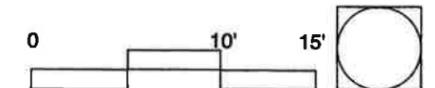
### **1. Landscaping**

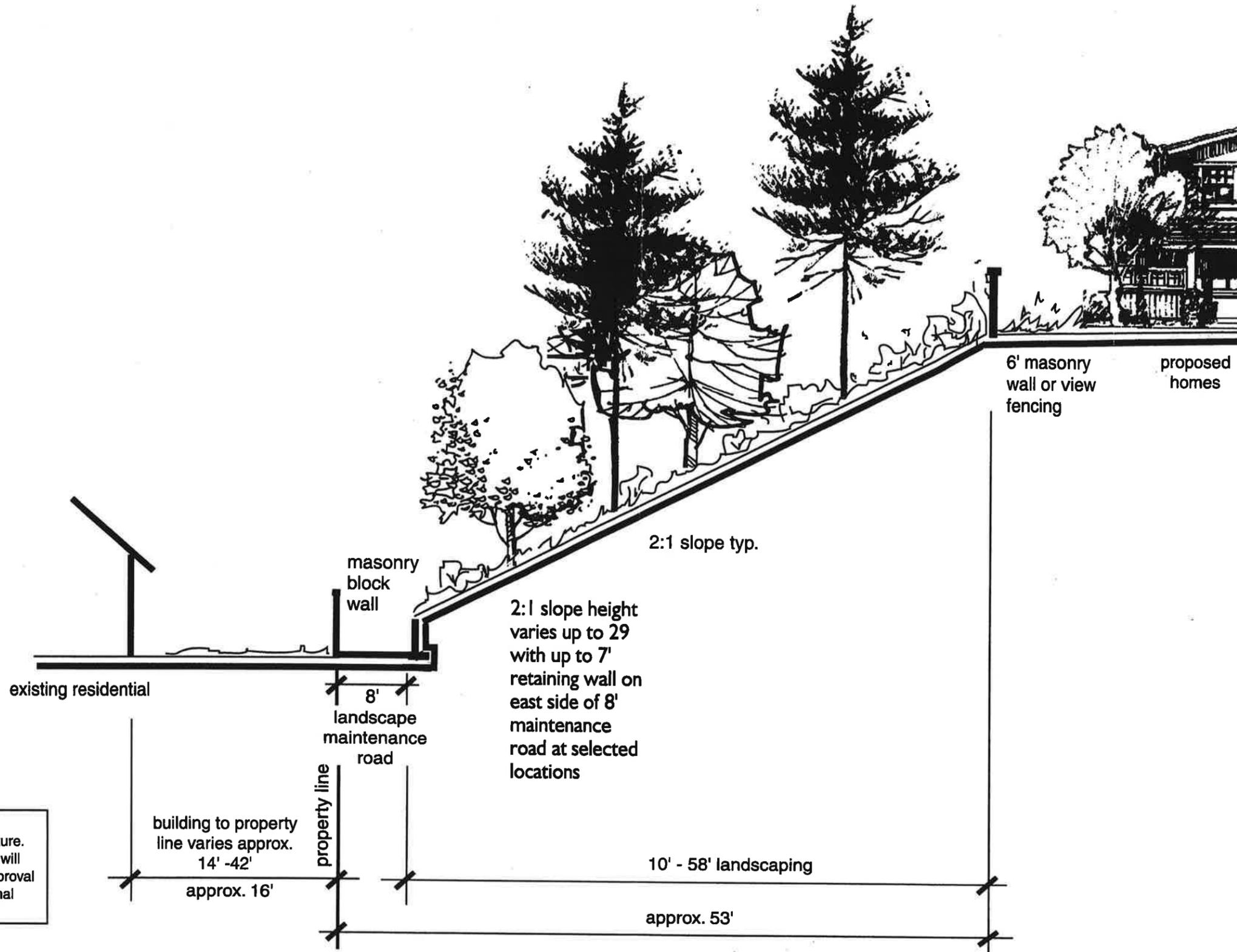
The western boundary has 17 existing homes that abut the Specific Plan area to the rear. There is an existing slope bank that faces these homes with a variety of mature trees of varying quality. These trees were planted on the existing slopes and were not located on structural fills created as part of the grading for the nursery many years ago. The existing fills exist to a depth of 20 to 25 feet in some areas and are not suitable for development in their present condition. This edge of the property needs to be filled slightly over existing grade which also makes the removal of this non-structural fill necessary. The trees along this edge must be removed. The edge condition with respect to existing grade has several conditions as it relates to slope banks both within the existing subdivision lots and on the proposed project site.

As shown on Exhibits 5-8 and 5-9 respectively, the distance between the existing residential structures and the property line varies between 14 feet and 42 feet. These exhibits include cross sections of the boundary shared between the subject property and the homes on Steele Drive. The slope height between the landscaped maintenance road and the wall at the rear of the proposed homes varies up to 29 feet with 10 to 58 feet of landscaping. As shown on Exhibit 5-10, the elevation differentials between the future homes within the proposed project and the existing homes ranges between 17 and 30 feet. Refer to the Tentative Tract Map for more detail including exact elevations and locations.

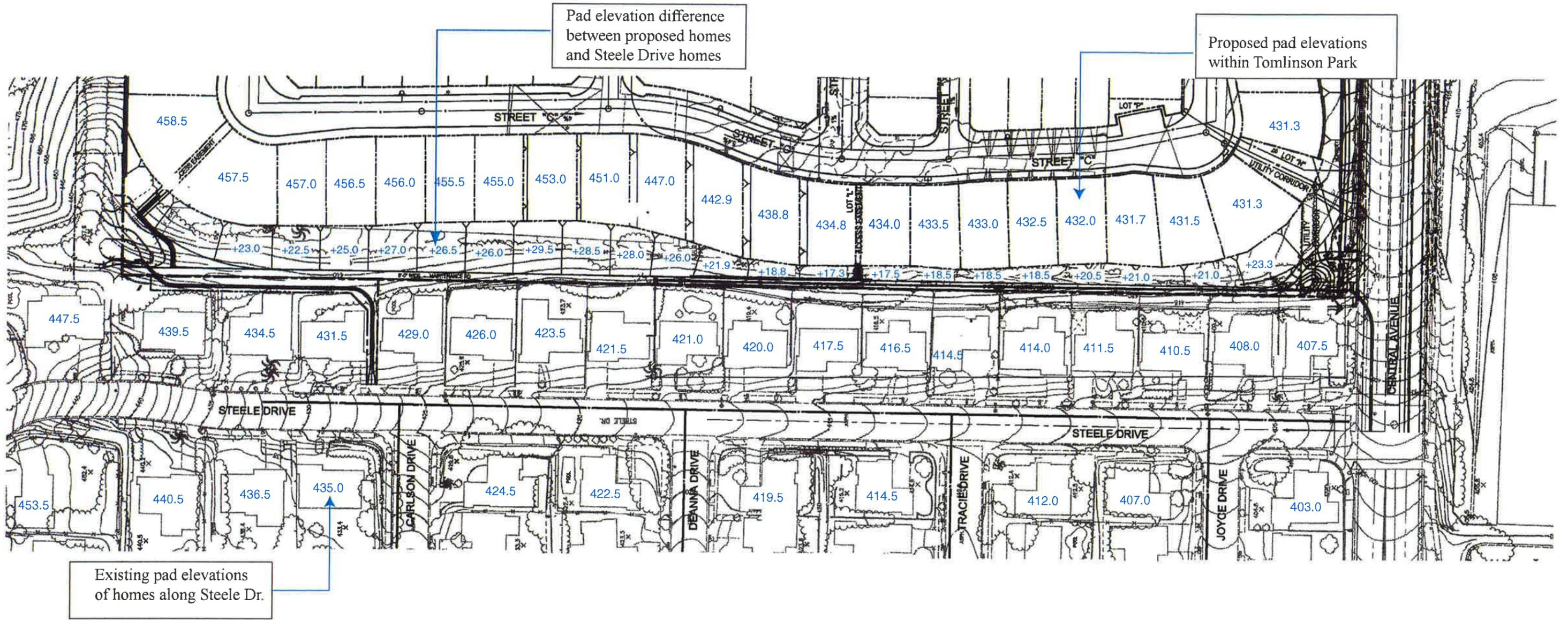


Engineering Note:  
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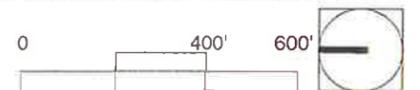


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Source: Tetra Tech, Inc.



The new slope bank will act as a buffer and will be heavily landscaped. The slope bank will be planted with mature fast-growing trees and shrubs. Box trees will be planted at the top of slope in order to screen the proposed homes from the existing homes. In addition, the private rear yards of the new homes along the western boundary will be planted with one box fast growing tree by the builder.

The western boundary will also provide an eight foot wide landscape maintenance road to provide access to the property. The access easement can be seen in Exhibit 5-10. The maintenance road will connect to the Edison transmission line right-of-way to the north.

## **2. Walls and Fences**

The masonry wall at the top of the slope along the western portion of the property will further screen the future homes from intruding on the privacy of the existing homes below. The wall will be six feet in height. In some locations on the western boundary, a six-foot tubular steel fence will be used rather than a solid masonry wall because of the elevation differential (approximately 30 feet) between the proposed homes and the existing homes. Two gated tubular steel fences will enclose the area in between the two entry walkways leading into the project. For security purposes, this area can be gated and locked in the late evenings. A one- to six-foot retaining wall will also be located at selected locations at the bottom of slope at the eastern edge of the maintenance road. As stated above, the slope will be heavily vegetated which will also screen the masonry wall or fence. Please refer to Exhibits 5-8 and 5-9 for more detail. Currently, the 17 homes located on the western boundary have wood fences in varying states of disrepair. As part of the western boundary improvements, a new masonry block wall will be built by the developer along the western boundary for each of the 17 homeowners. Please refer to Section 5.4, "Project Interior Design Guidelines," for additional information on walls and fences.

## **3. Lighting**

There will be no lighting along the maintenance road in this area.

## **4. Maintenance**

Maintenance of the heavily vegetated slope on the western portion of the property will be the financial responsibility of the Homeowner's Association. An eight-foot landscape maintenance road will provide access to the western portion of the property for ease of maintenance.

### 5.3.4 Northern Boundary

#### 1. Landscaping

The proposed project is separated from the existing homes to the north by a 50-foot Southern California Edison (SCE) transmission line right-of-way. In addition, the design lowers the grade of the homes adjacent to the right-of-way by up to nine feet in one location so that the rear yards of the homes are larger and provides larger lots in this area below the existing homes. As shown on Exhibits 5-11 and 5-12 respectively, the distance between the existing homes and the proposed homes will vary throughout the project with a minimum distance of approximately 65 feet and a maximum of approximately 150 feet from building to building. The 50-foot SCE transmission line right-of-way currently provides some vegetation and no additional landscaping is proposed within the SCE right-of-way. As shown on Exhibit 5-13, the elevation differentials between the future homes within the proposed project and the existing homes ranges between approximately 9 and 20 feet. Refer to the Tentative Tract Map for more detail including exact elevations and locations. It should also be noted that the walls on the northern property line will not be visible to the Baldwin Tract for most of its length.

#### 2. Walls and Fences

A retaining wall no more than seven feet tall is proposed along much of the northern boundary of the Specific Plan area at selected locations. From the western side of the northern boundary, a retaining wall will reach seven feet high at the property line with a six-foot tubular steel, or optional masonry, fence at the top of the 2:1 slope, as shown on Exhibit 5-11. Some of the lots will include a slope bank no more than eight feet tall at the rear of the lots in order to minimize the height of the retaining wall. Moving eastward throughout the rest of the boundary, the wall will shorten gradually until a wall is no longer needed and then will begin once the proposed residential lots are at a lower elevation than the SCE transmission line right-of-way area, as shown on Exhibit 5-13. A retaining wall up to six feet will be placed below the six-foot tubular steel fence on the property line on the eastern side of the northern boundary, as shown on Exhibit 5-12. Please refer to Section 5.4, "Project Interior Design Guidelines," for additional information on walls and fences.

#### 3. Lighting

No additional lighting will be provided for the off-site SCE Transmission line right-of-way.

#### 4. Maintenance

The northern boundary will be within private lots and thus maintained by the individual homeowner.

Existing pad elevation of homes along Shadow Grove Street

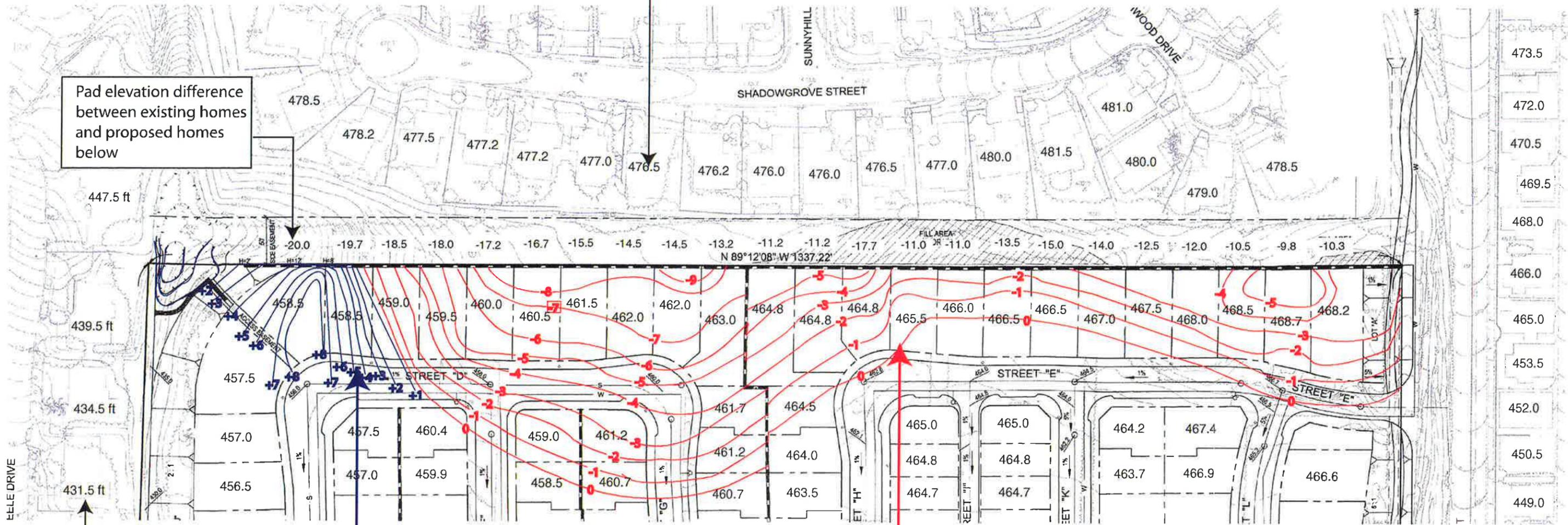
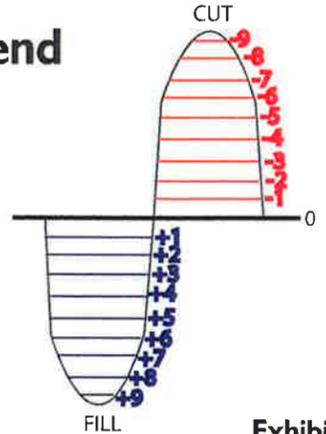
Pad elevation difference between existing homes and proposed homes below

Proposed pad elevation of new homes

Depth of proposed fill

Depth of proposed cut

Legend

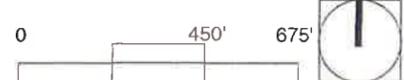


Source: Tetra Tech, Inc.

Tomlinson Park Specific Plan



Exhibit 5-13  
**PROPOSED NORTHERN  
BOUNDARY PLAN VIEW**



#### 5.4 PROJECT INTERIOR DESIGN GUIDELINES

These Design Guidelines have been developed in order to achieve a high quality, cohesive design theme for Tomlinson Park while allowing variety in architectural expression. The overall design theme will be that of a "Traditional Neighborhood Design" (TND). The design theme incorporates a mix of housing sizes and lot types unusual for southern California. This has been done to give a greater degree of variety to the street scene and avoid the look and feel of a typical subdivision. "Traditional Neighborhood Design" features include usable front porches and wrap around corner porches. Usable front yards with front patios are also an integral part of the design. A common bond of detailing and scale will exist within the project area. Only the front yards of the 35' x 73' homes will be landscaped by the builder. Automatic sprinkler systems will be installed so that the rear yards can also be hooked up to the same timer system. Installation of the sprinkler system and parkway landscaping will be the responsibility of the builder/developer.

##### 1. Landscaping

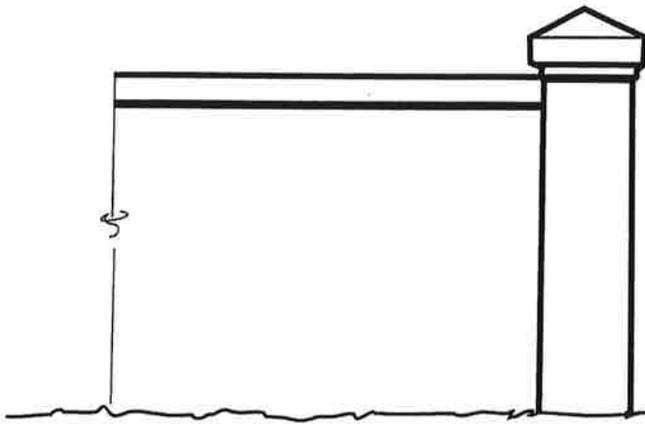
The street design allows every homeowner and visitor to view the central park upon entry and exit. All streets are oriented towards the park and are limited in length which adds to the feeling of openness. The street design incorporates a unique design feature which narrows the curb area at intersections where no parking will be allowed. This increases the amount of landscaping within parkways from five feet to eight feet on each side of the street, thereby reducing the amount of pavement and enhancing the pedestrian experience in the project. In addition, there will be no parking at the central park where each street terminates creating a direct view to the park and associated landscaping rather than viewing parked vehicles.

Street trees have been selected and located to create a visual orientation towards the park. Street trees will be planted along all public streets within the Tomlinson Park project. Street trees will be planted at an average of one per house on center in the parkways.

The alley loaded carriage units (35' x 73' lots) located on the southern portion of the project in one selected area will have a landscaped walkway leading to the private recreation facility. The focal point will be created by extensive landscaping including canopied flowering trees, raised planters, and flowering plant materials. All the other locations of the 35' by 73' lots will have a public street at the front of the homes that will provide sidewalk walkways to the public park throughout the site.

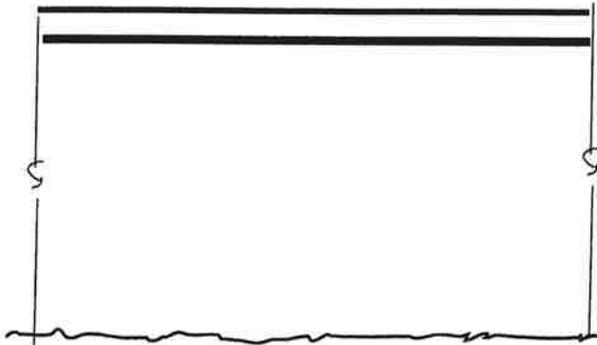
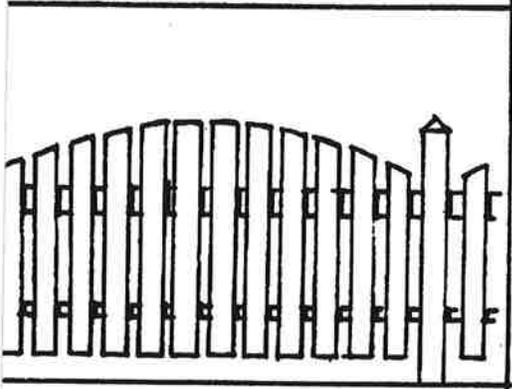
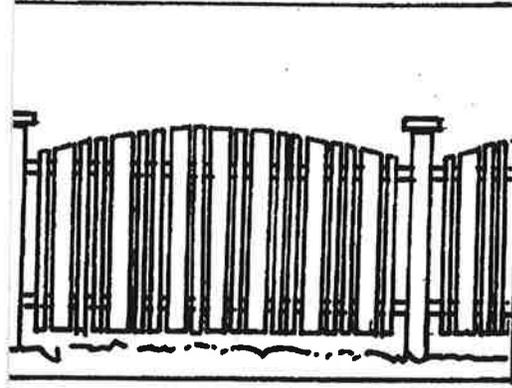
##### 2. Walls and Fences

The purpose of the wall and fence plan is to establish a cohesive neighborhood environment that compliments the architectural character of the development. The project perimeter and property walls are designed to alleviate noise from street traffic and adjacent land uses. A dense buffer area of trees and shrubs will be planted in conjunction with walls to provide additional screening at sensitive areas. The Community Wall and Fencing Plan for the proposed project is shown on Exhibit 5-14. Locations of fences are shown on Exhibit 5-15.



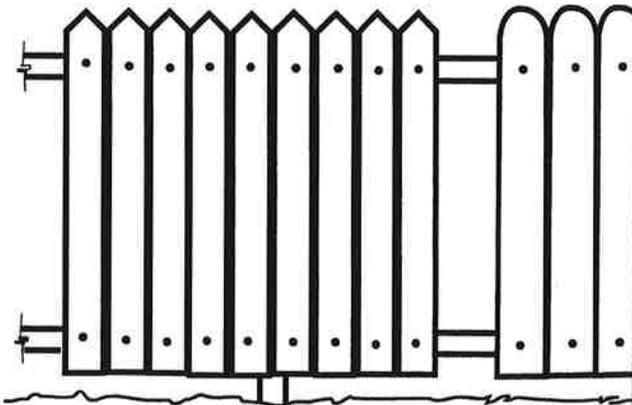
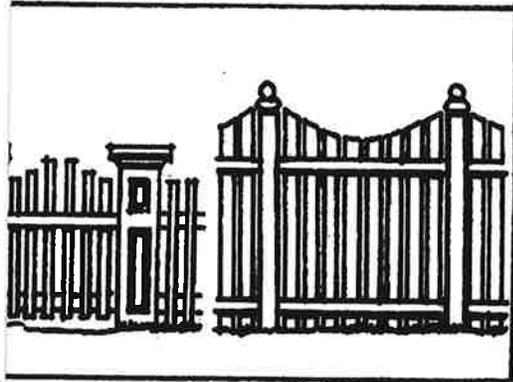
**COMMUNITY PERIMETER WALL**

Slumpstone or split face block with graffiti resistant coating (view fencing permitted along Central Avenue).



**NEIGHBORHOOD REAR YARD / SIDE YARD PRIVACY WALL**

Slump stone or split face block.



**PRIVATE FENCE VISIBLE FROM FRONT YARD**

Wood fence with paint

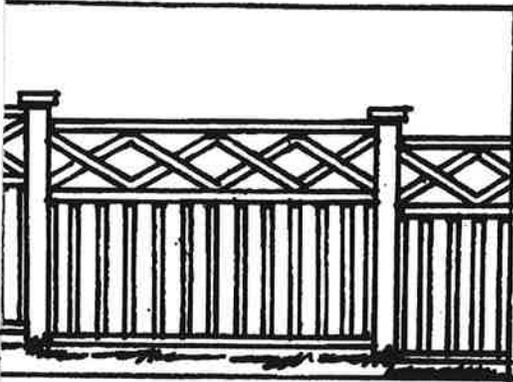


Exhibit 5-14

**COMMUNITY**

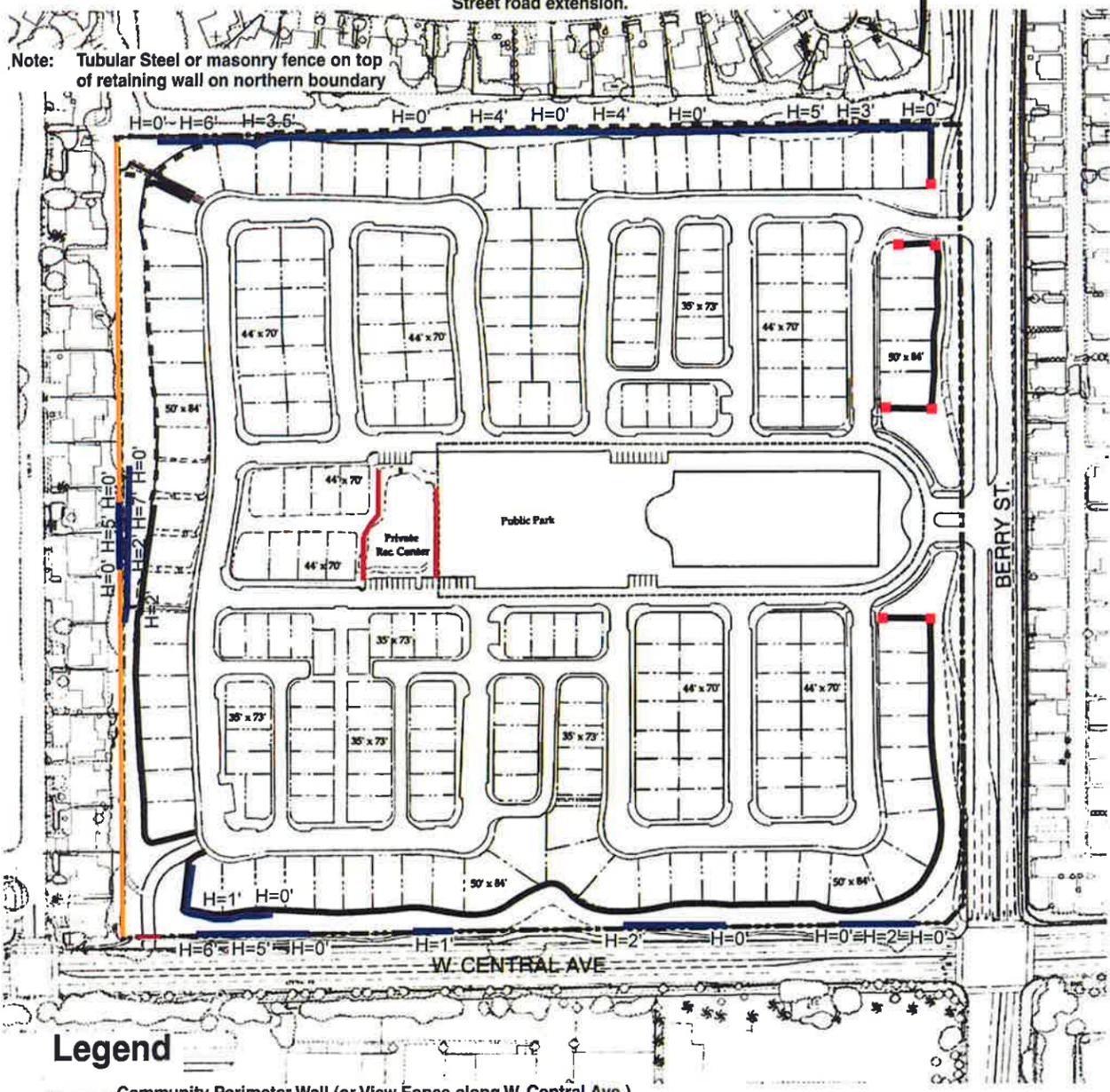
**WALL AND FENCE PLAN**

Tomlinson Park Specific Plan



Note: A wall much like the Tomlinson Park perimeter wall will be placed along the eastern property line of those Beechwood Drive homes in the North Hills tract affected by the Berry Street road extension.

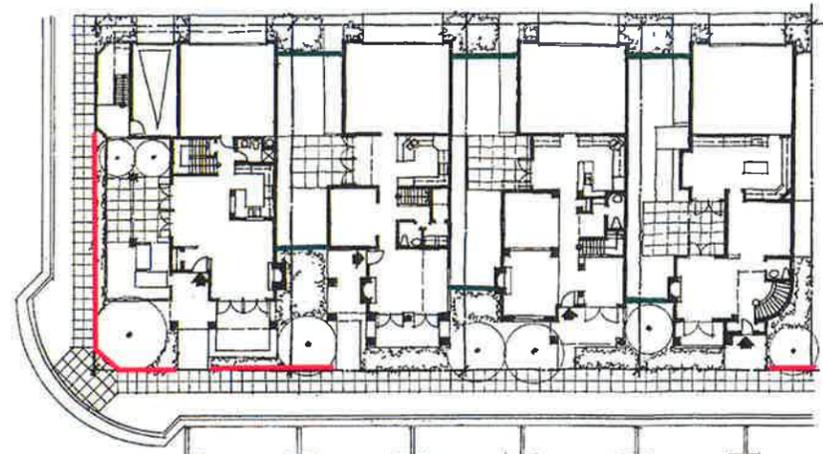
Note: Tubular Steel or masonry fence on top of retaining wall on northern boundary



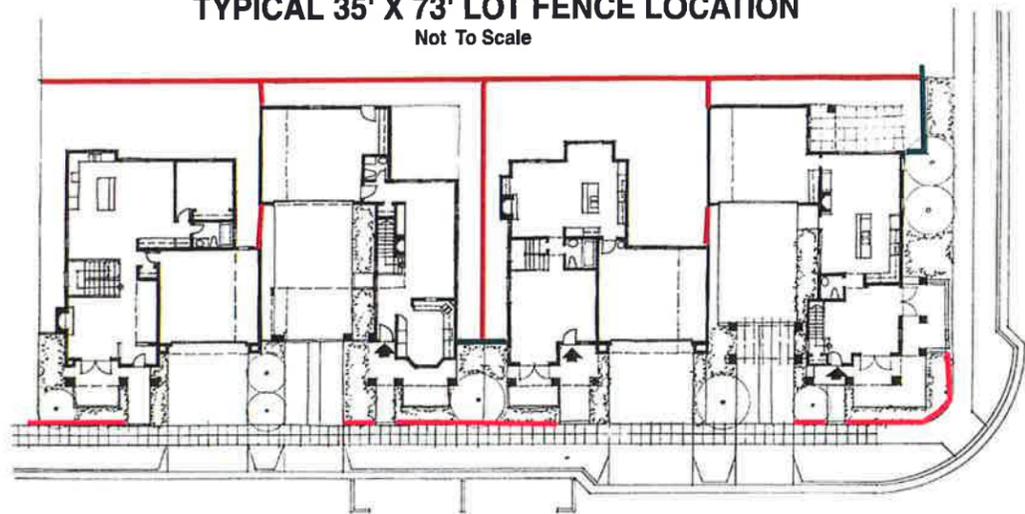
**Legend**

- Community Perimeter Wall (or View Fence along W. Central Ave.)
- Entry Wall Pilaster
- Neighborhood Privacy Wall
- Front Yard Private Fence
- Front Yard Low Fence
- Retaining Wall (numbers indicate height of wall)
- - - Tubular Steel Fence (or optional masonry on northern boundary)
- Replacement of existing fence with new masonry wall
- Emergency Vehicle Access gate or ballards (as approved by the City of Brea)

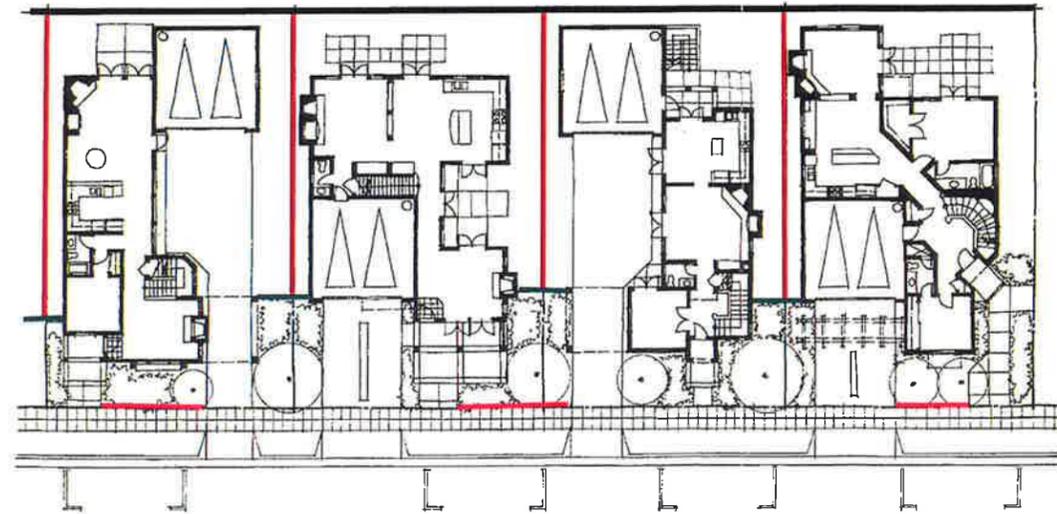
Note: Retaining wall heights are conceptual. Actual wall heights will be determined at final Tentative Tract Map approval.



**TYPICAL 35' X 73' LOT FENCE LOCATION**  
Not To Scale

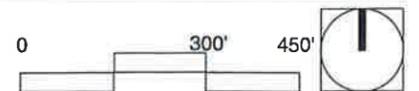


**TYPICAL 44' X 70' LOT FENCE LOCATION**  
Not To Scale



**TYPICAL 50' X 84' LOT FENCE LOCATION**  
Not To Scale

Tomlinson Park Specific Plan



Walls and fences should be integrated into the design of the structure for which they serve. The following guidelines shall apply:

- All walls and fences used within the Tomlinson Park Specific Plan area shall be of a material and color that is compatible with the architectural design of the structures.
- All fencing facing the interior streets shall be wooden and painted white or a complimentary color to the architecture.
- Backyard fencing shall be masonry in areas not visible to the interior streets of the project.
- Individual home owners within Tomlinson Park project may install low decorative wood fencing in the front yards.
- Ornamental fences shall be used as an accent to complement the Traditional Neighborhood Design.
- Walls and fences shall be built by the developer/builder.

### 3. Lighting

Lighting standards on interior streets will be of the neotraditional style. This classic fixture is styled to replicate the acorn luminaries which beautified city streets during the first half of the century (see right). This type of theme lighting will be very different from the more standard street lighting along Berry Street. The residential lanes (public alleys) on the 35' x 73' lots will have down lighting at the garage doors. A timer will be installed in each garage to operate the lights.

### 4. Architecture

The architecture within the Tomlinson Park Specific Plan shall incorporate TND principles. The following guidelines shall apply:

- The builder shall incorporate usable porches and livable front yards into the design of the homes. The intent is to have the front patios extend beyond the architectural porch to hardscape a large portion of the front yard. The covered portion of the porch shall have a minimum depth of 6 feet and consist of a minimum of 60 square feet.
- The builder shall provide, as a builder option, a variety of decorative gates for courtyard homes.
- The builder shall provide, as a builder option, a variety of free stranding trellis



options in the front yard to encourage diversity within the Tomlinson Park neighborhood.

- The builder shall provide, as a builder option, a variety of front door options including Dutch doors. The living areas facing the front yard space should have French doors or sliding style French doors opening out to the patio areas as a builder option.

### **5. Architectural Details**

The following guidelines shall apply to architectural details:

- Additional levels of architectural detailing for side and rear elevations visible from public streets (except alleys) must be provided to enhance a project's appearance from these view corridors.
- The design details of architectural elements need to be correct for each application. For example, the size of exposed beams for eave treatments must be of a scale matching the structure. Where an 8" x 8" beam is visually correct, a 4" x 4" beam should not be substituted. Similarly, where window box planters are provided, they need to be a correct width to correspond with the window width. This general concept should be applied to the review of all such architectural features.
- Garage door selection is important. One piece, tilt-up, doors are almost always of inferior quality and aesthetics compared to sectional roll-up doors. However, specifying roll-up doors alone is not enough. Strive for solid core roll-ups which will not dent or shift out of shape with age. Examples of the types of garage doors to be used within the Tomlinson Park Specific Plan are shown on Exhibit 5-16.
- Hose bibs on the alley loaded 35' x 73' lots shall be hidden from view either in the garage or behind the rear fence/gate.
- Outdoor electrical plugs under eaves for Christmas lights.
- Electric vehicle hookups in garages as a builder option.
- Gas stub outs for outdoor barbeque.
- Sprinkler and time clocks for the parkways shall be set up to allow homeowner hookup for front, side and rear yards. The landscaping and sprinklers in the front yards of the 35' x 73' lots shall be installed by the builder.



- Glass inserts match garage door pattern
- Down lighting could be used for dramatic effect at night
- Deep recessed garage doors with balcony or second story over
- Openings for light and architectural details and potted plant locations
- Wood trim details that reflect the architectural style and materials on the home



**Description**

The garage doors that face the street on the 50' x 84' lots and 45' x 70' lots will need to have garage doors that create individuality that matches the architectural style of the house. The design should improve the appearance or mask the appearance of a typical roll up garage door. A few examples of what might be designed are shown here.



- Arch way above garage door gives individuality
- Raised panels
- Colors that do not emphasize the door

- Trellis at garage and entry can be planted with vines
- Glass inserts with pane windows that match the house
- Repeated building materials in Posts or columns adds depth
- Trim that reflects the architectural style of home



- Yard drains should be set up to allow the homeowner to plug into their patio designs.
- Gutters and down spouts connected to drains may be required depending on the outcome of Precise Development Plan review.
- No spiral staircases allowed.

**6. Architectural Floor Plans and Elevations**

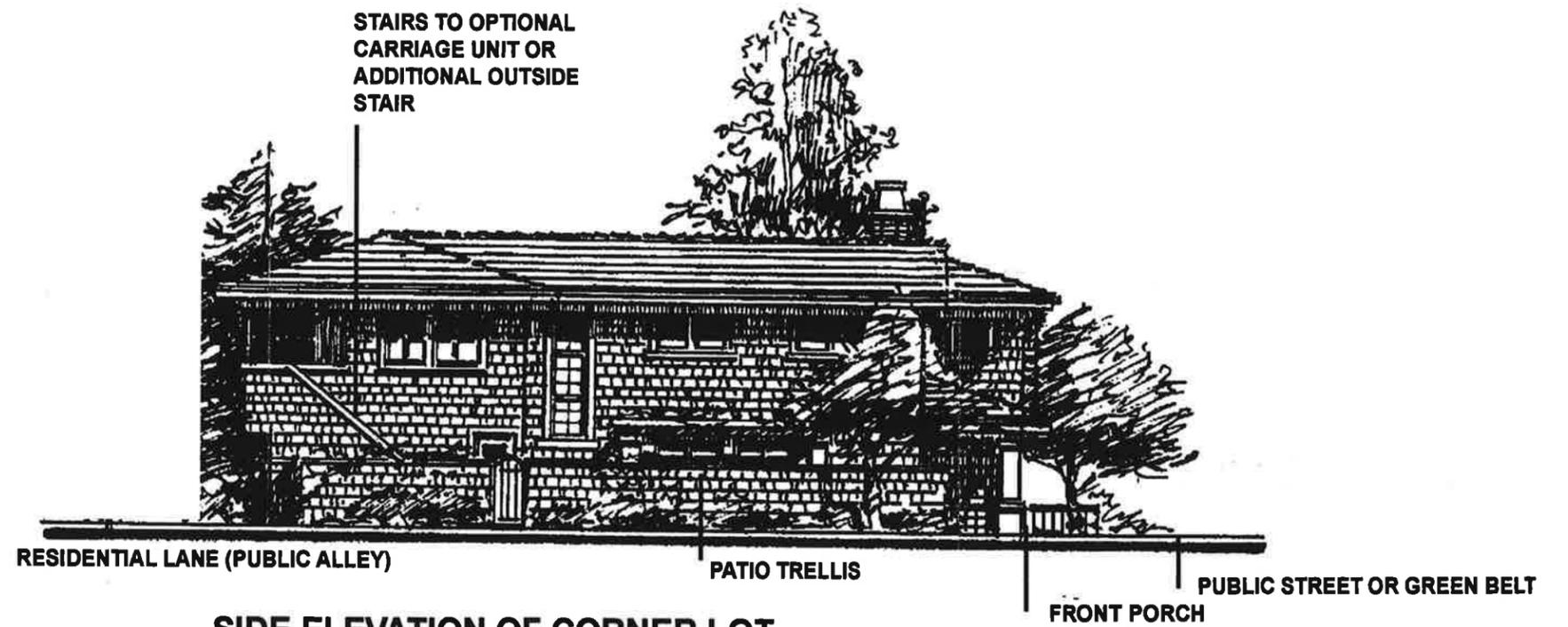
Elevations, conceptual architectural floor plans for first and second floors, carriage unit location map, and examples of a typical reciprocal easement are shown on Exhibits 5-17 through 5-27. All lots can be designed as a reciprocal easement setup or traditional plotting, as shown on Exhibit 5-24. The reciprocal easement utilizes a four-foot area located on the side of the home where garages are placed near the property line. The floor plans and elevations in the Specific Plan have been prepared in accordance with the marketing information and describe a character and vision of housing type and style for the decision makers and future builders of the Tomlinson Park community. The plans are an example of what could be developed in accordance with the Tomlinson Park Specific Plan. They are not intended to dictate to a builder the exact square footage or elevations but allow for additional creativity and quality. Final plan approval will be subject to a Precise Development Plan.

**7. Parking**

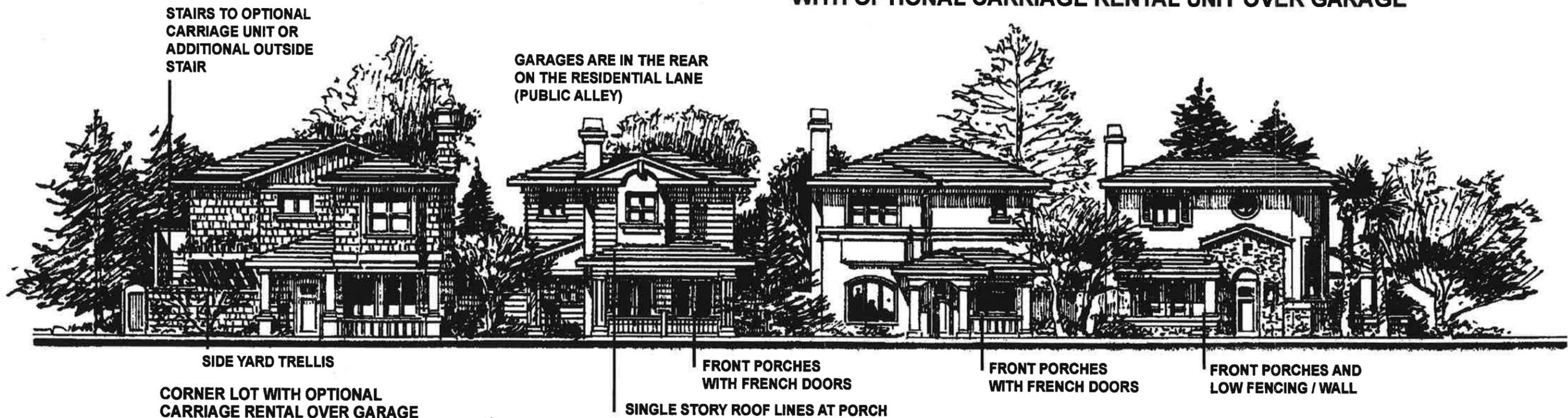
Tomlinson Park will provide a minimum of 255 on-street parking spaces. On-street parking will be in accordance with the City of Brea Parking Ordinance which allows overnight on-street parking by permit only. Each home will have a two-car garage resulting in 462 off-street covered parking spaces (471 parking spaces if the garages below the nine carriage units are included). On the 50' x 84' lots, a third car turn-in garage may be installed as a builder's option. The public park and private recreation facility will add 40 bay parking spaces to the plan. The number and location of parking spaces for the public park will be a result of the final park design as directed by the City of Brea. The parking location maps for the northern and southern portions of the site can be seen in Exhibits 5-28 and 5-29.

**8. Maintenance**

The parkways in front of the homes will be maintained by the homeowner; however, the proposed trees to be planted in the parkways will be maintained by the City. Parkway trees shall be to City of Brea's master street tree standards for tree varieties, widths, etc. The SCE transmission line right-of-way to the north of the property will continue to be maintained by SCE. The Tomlinson Park H.O.A. will maintain all other common areas within the project site.



**SIDE ELEVATION OF CORNER LOT WITH OPTIONAL CARRIAGE RENTAL UNIT OVER GARAGE**

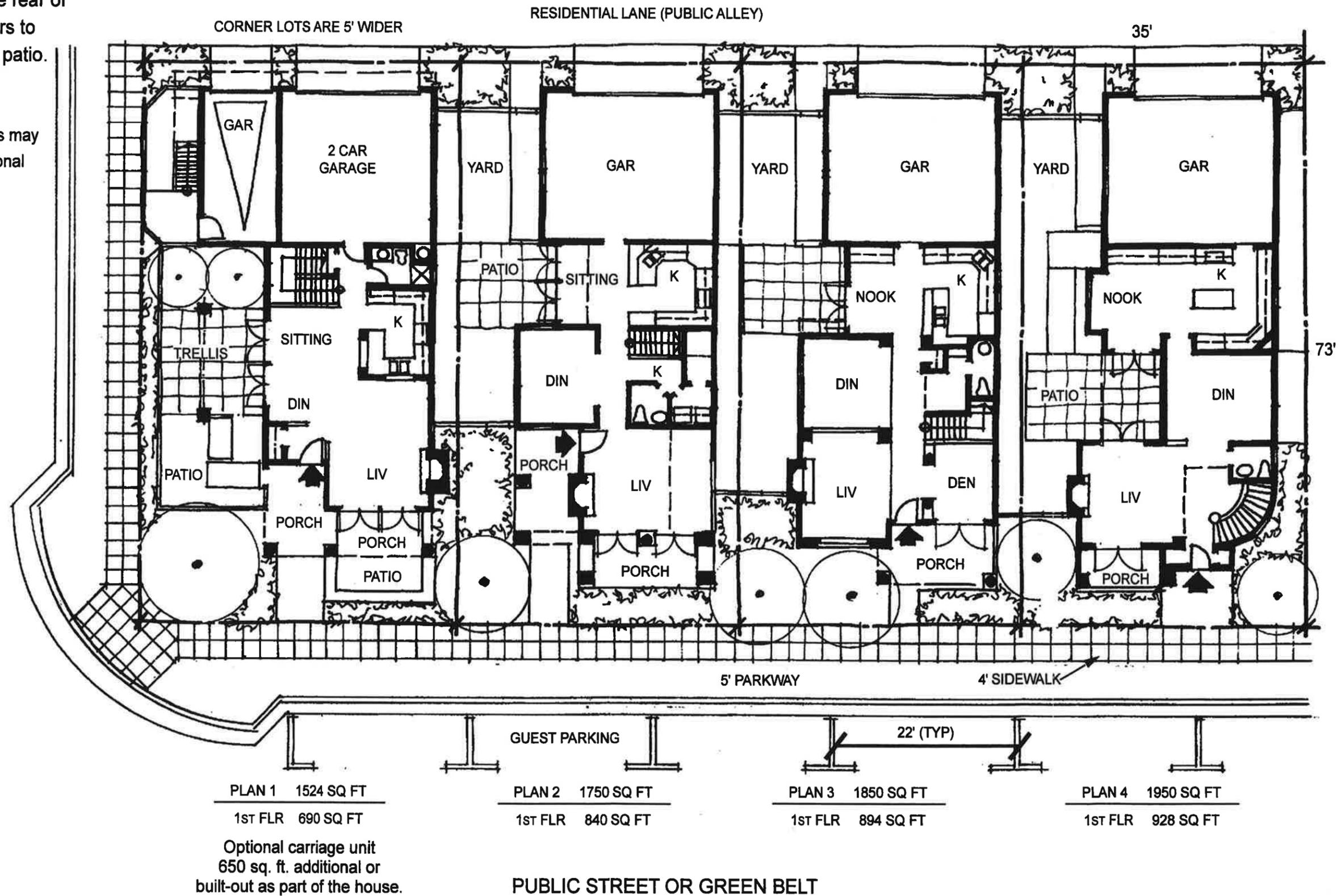


**FRONT ELEVATIONS**

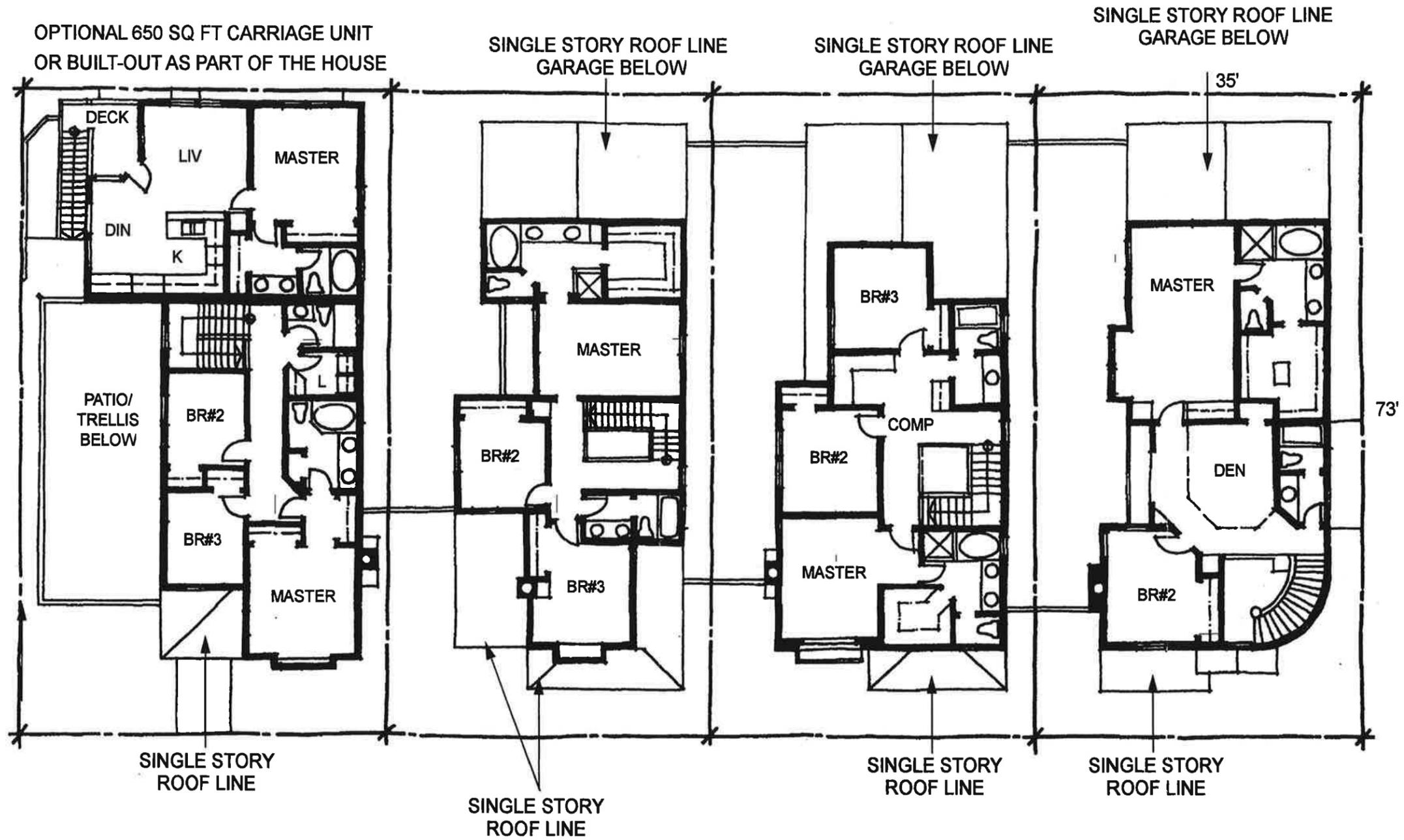


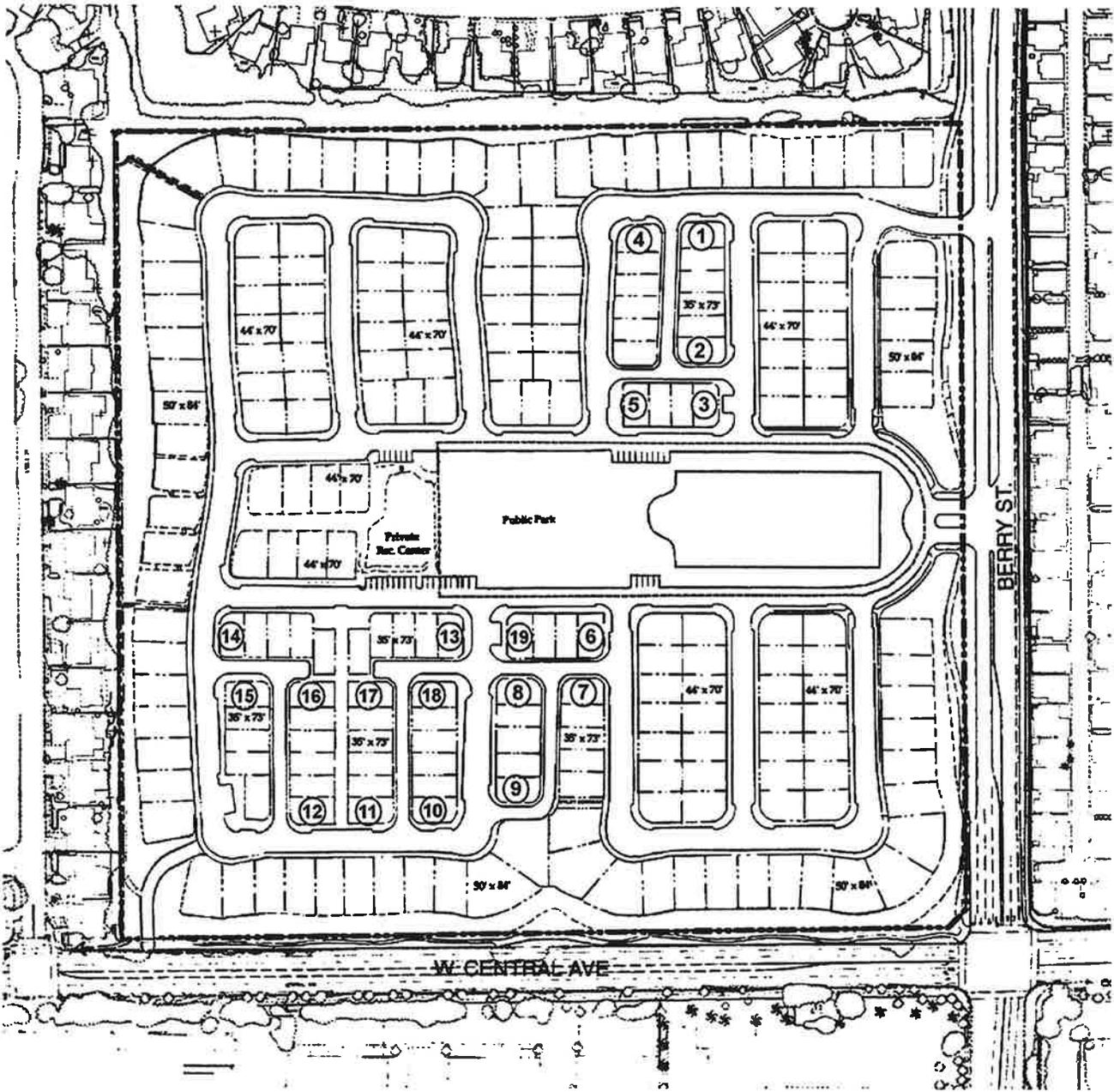
All garages are to the rear of the lots. French doors to front porch and front patio.

Note: The 35' x 73' lots may be developed in an optional attached/paired home configuration.



CORNER LOTS ARE 5' WIDER





### Legend

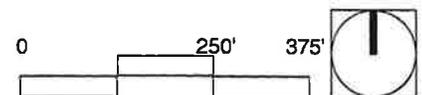
- ② Optional Rental Carriage Unit Location

A maximum number of nine lots may have carriage units out of a possible 19 locations.

Exhibit 5-20

Tomlinson Park Specific Plan

### CARRIAGE UNIT LOCATION





WRAP AROUND PORCH, LOW FENCE / WALL

SIDE ELEVATION OF CORNER LOT



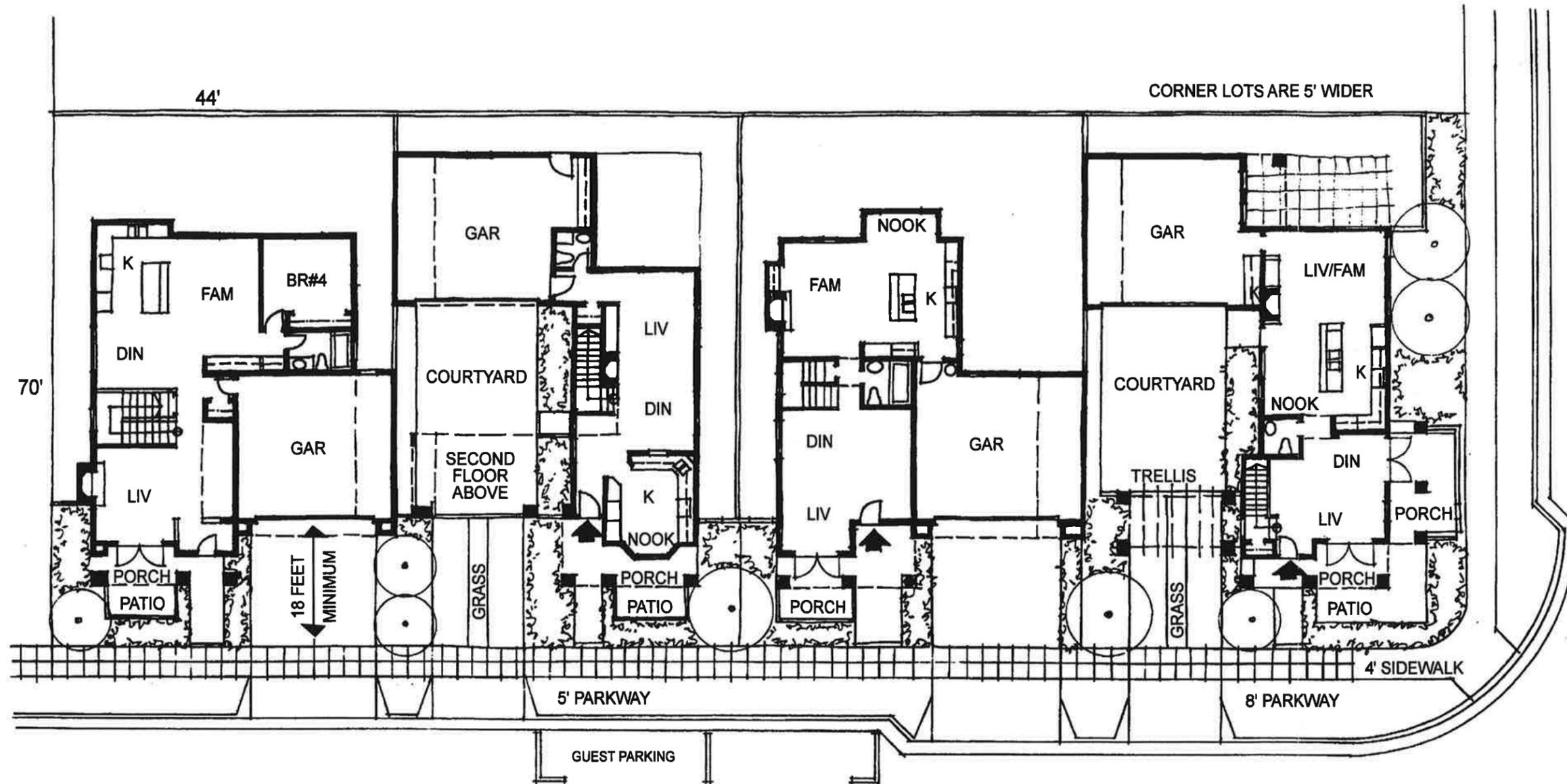
OPTIONAL GATE  
FRONT PORCH  
COURTYARD HOME WITH GARAGE  
TO REAR OF LOT

FRONT PORCH  
COURTYARD HOME WITH TRELLIS  
AND OPTIONAL GATE, GARAGE IN REAR

FRONT ELEVATIONS

43% OF GARAGES ARE IN THE REAR OF THE LOTS

43% of garages are to the rear of the lots with courtyard homes.

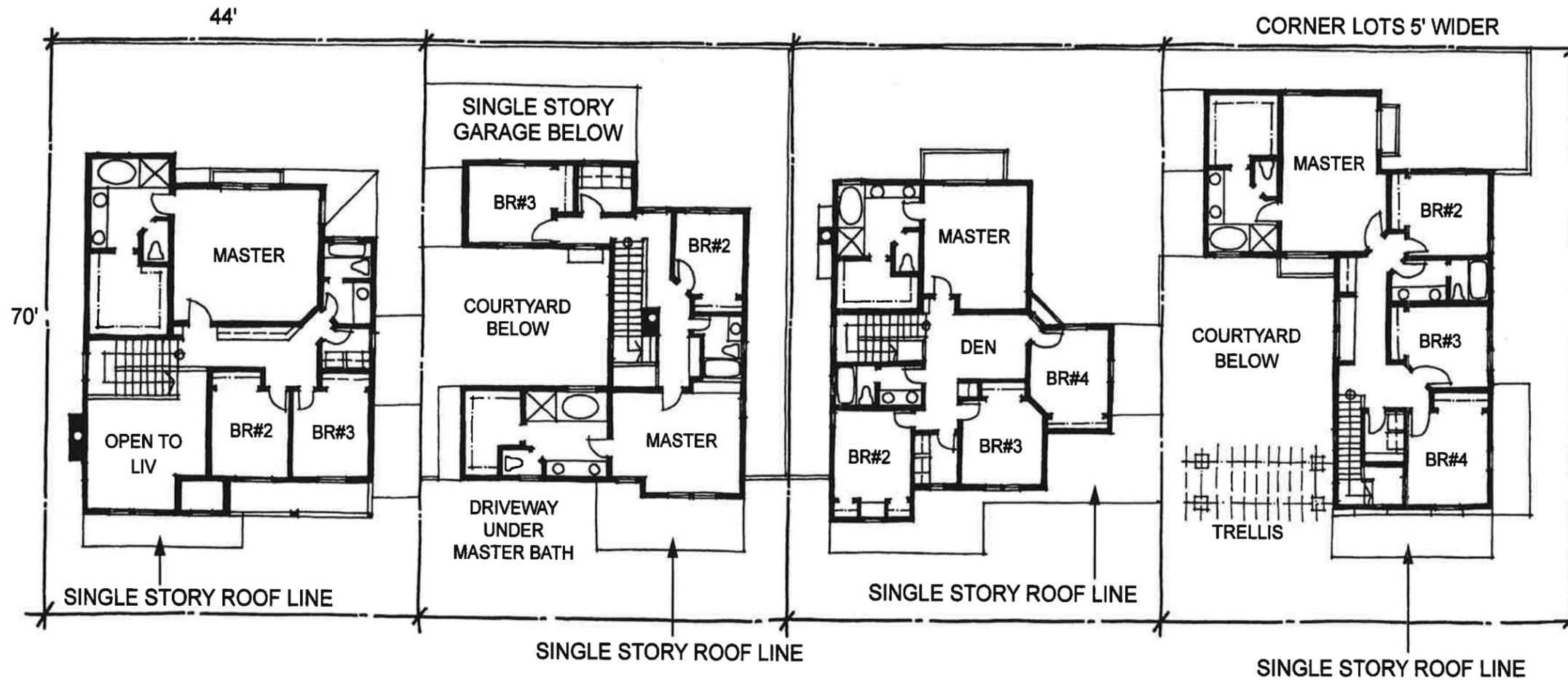


PLAN 4 2268 SQ FT  
1ST FLR 1138 SQ FT

PLAN 1 1838 SQ FT  
1ST FLR 729 SQ FT

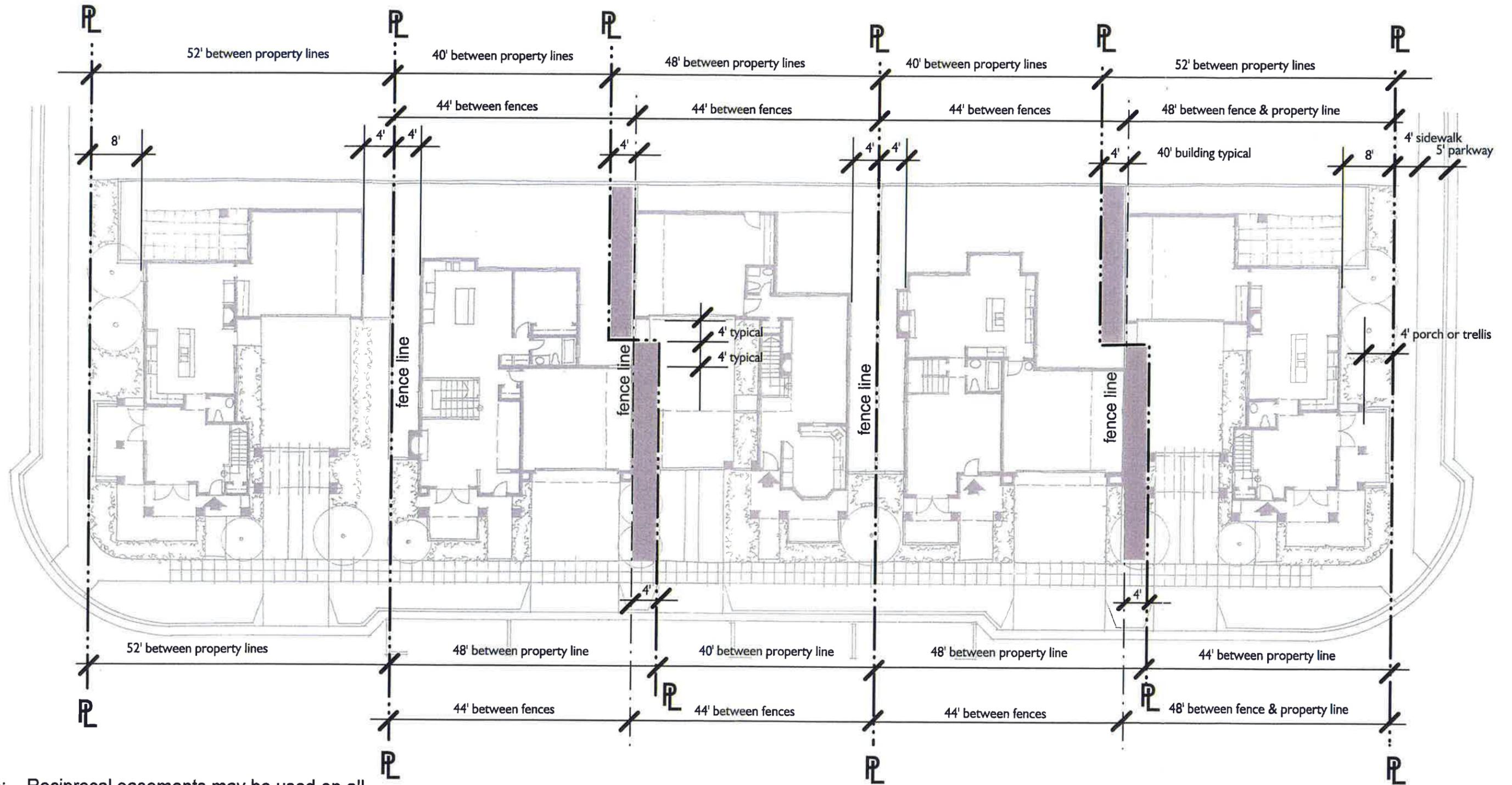
PLAN 3 2110 SQ FT  
1ST FLR 888 SQ FT

PLAN 2 2000 SQ FT  
1ST FLR 835 SQ FT



LEGEND

 RECIPROCAL EASEMENT TYPICAL



Note: Reciprocal easements may be used on all lot sizes within the Tomlinson Park Specific Plan Area.

VARIETY OF BUILDING MATERIALS, COLORS,  
BUILDING MASSING AND STYLES ARE ENCOURAGED

WRAP AROUND ARCHITECTURAL  
DETAILS ON PERIMETER OF PROJECT, TYPICAL



SINGLE STORY ROOF LINE

SINGLE STORY ROOF LINE

### REAR ELEVATIONS 50' X 84' PERIMETER LOTS

50 % OF GARAGES ARE IN THE REAR OF THE LOTS

COURTYARD HOME WITH GARAGE  
TO REAR OF LOT



OPTIONAL DRIVEWAY GATE  
COURTYARD HOME WITH GARAGE  
TO REAR OF LOT

FRONT PORCH

OPTIONAL DRIVEWAY GATE  
TRELLIS OVER DRIVEWAY

TRELLIS

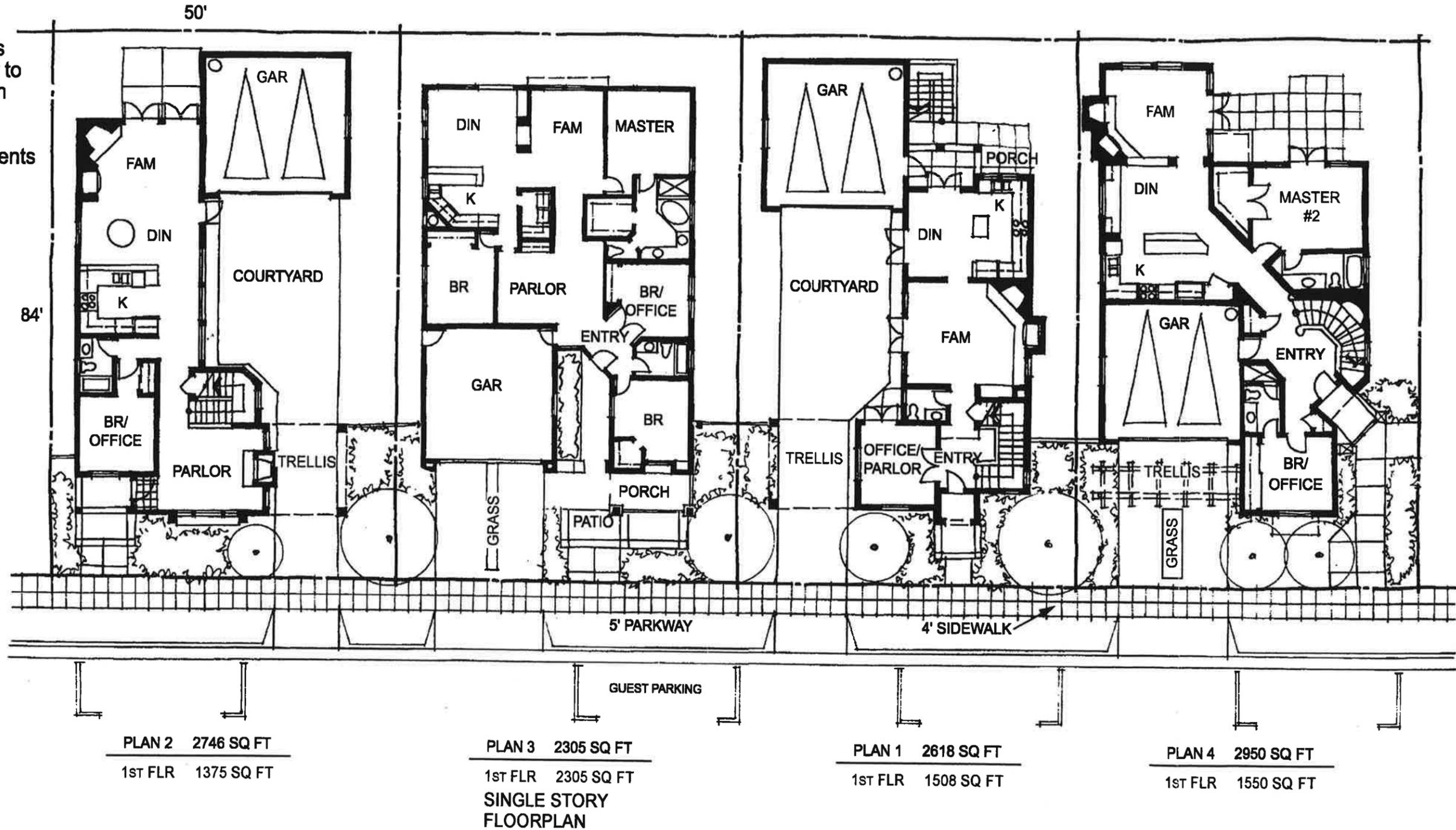
### FRONT ELEVATIONS



50% of garages are to the rear of the 50' x 84' lots

Note: Lot widths may vary in order to incorporate turn-in garages.

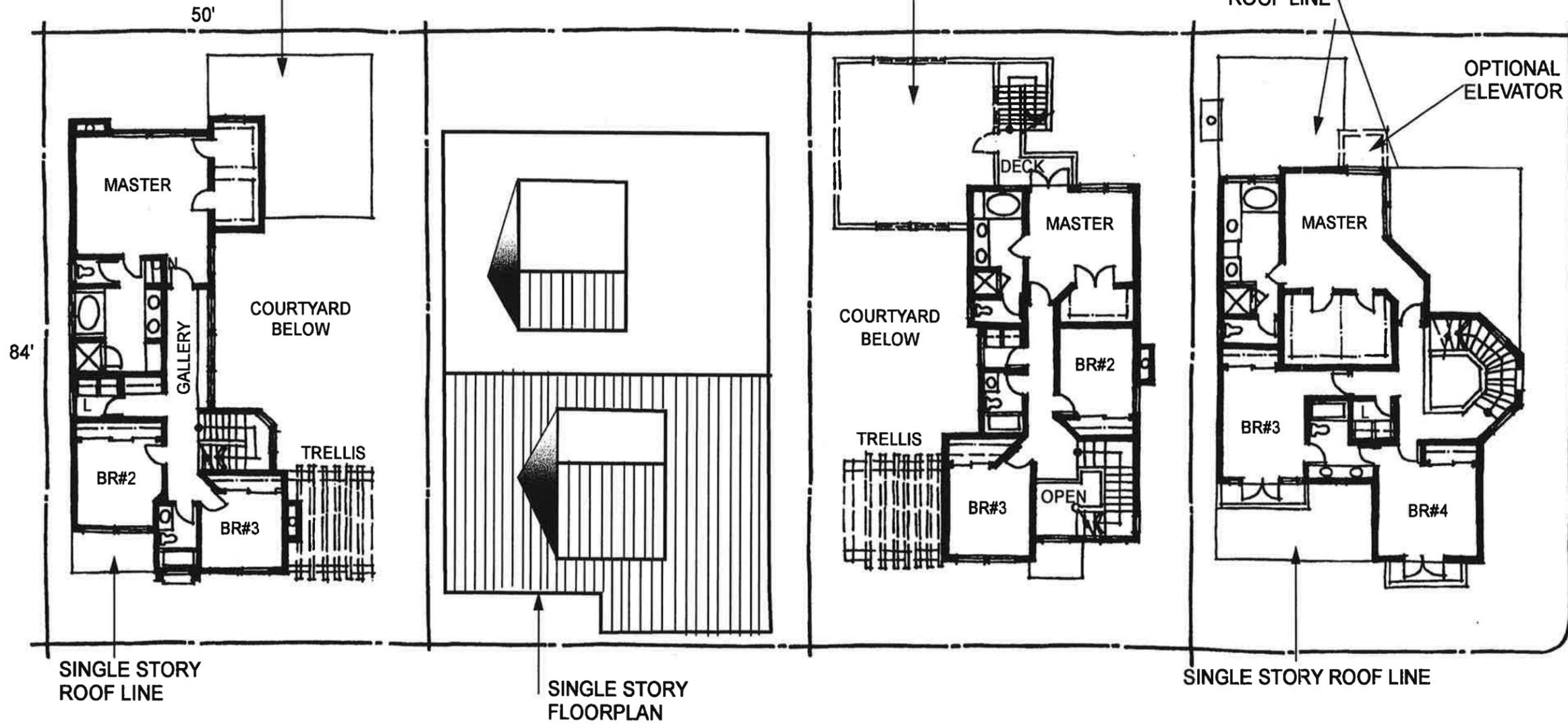
Reciprocal easements may be used on these lots.

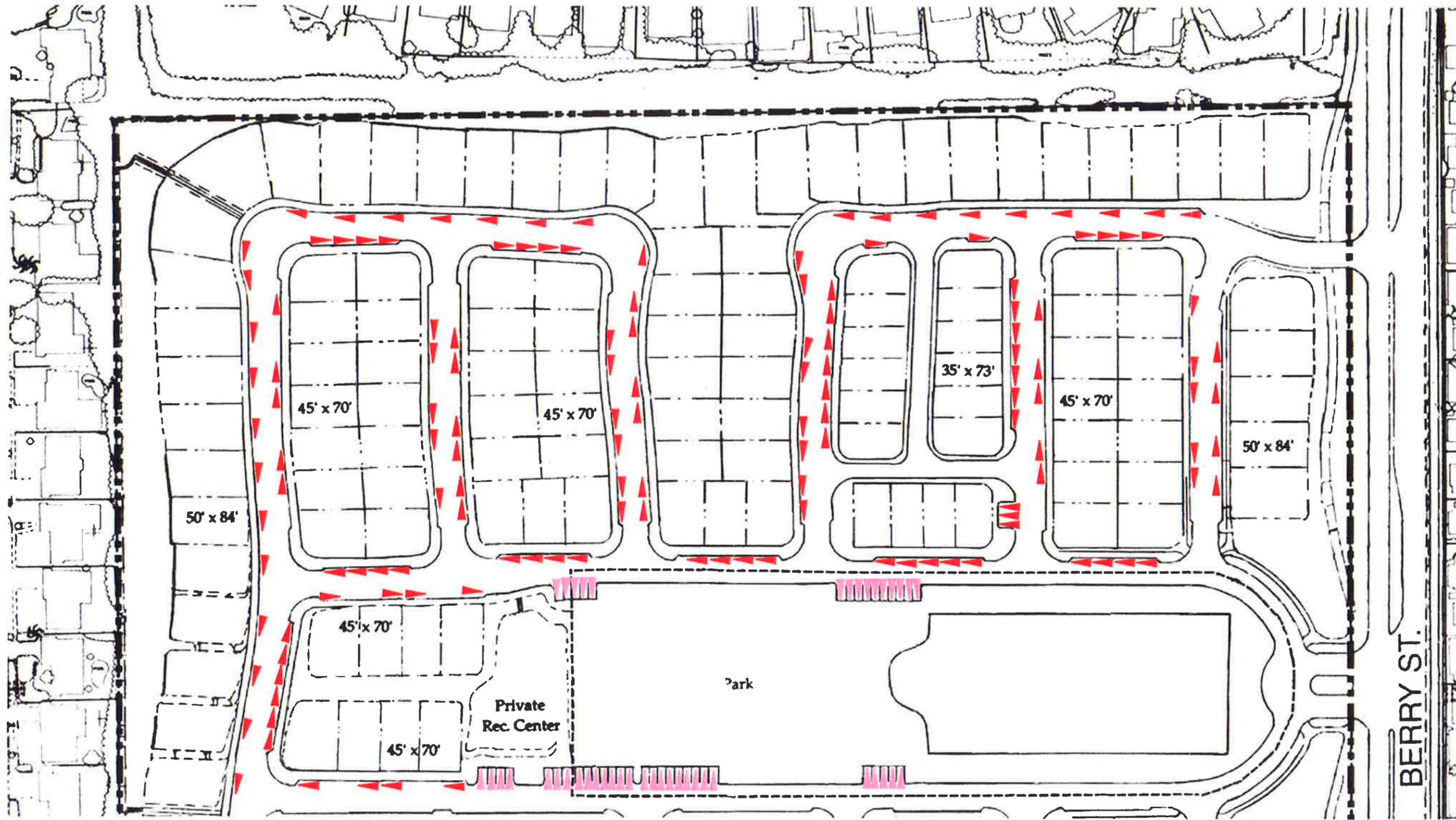


SINGLE STORY  
ROOF LINE/OPTIONAL  
BONUS ROOM

OPTIONAL BONUS ROOM OR GUEST ROOM  
(440 SQ FT) ABOVE GARAGE

SINGLE STORY  
ROOF LINE



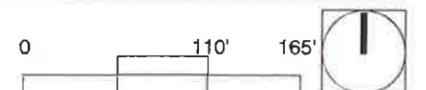


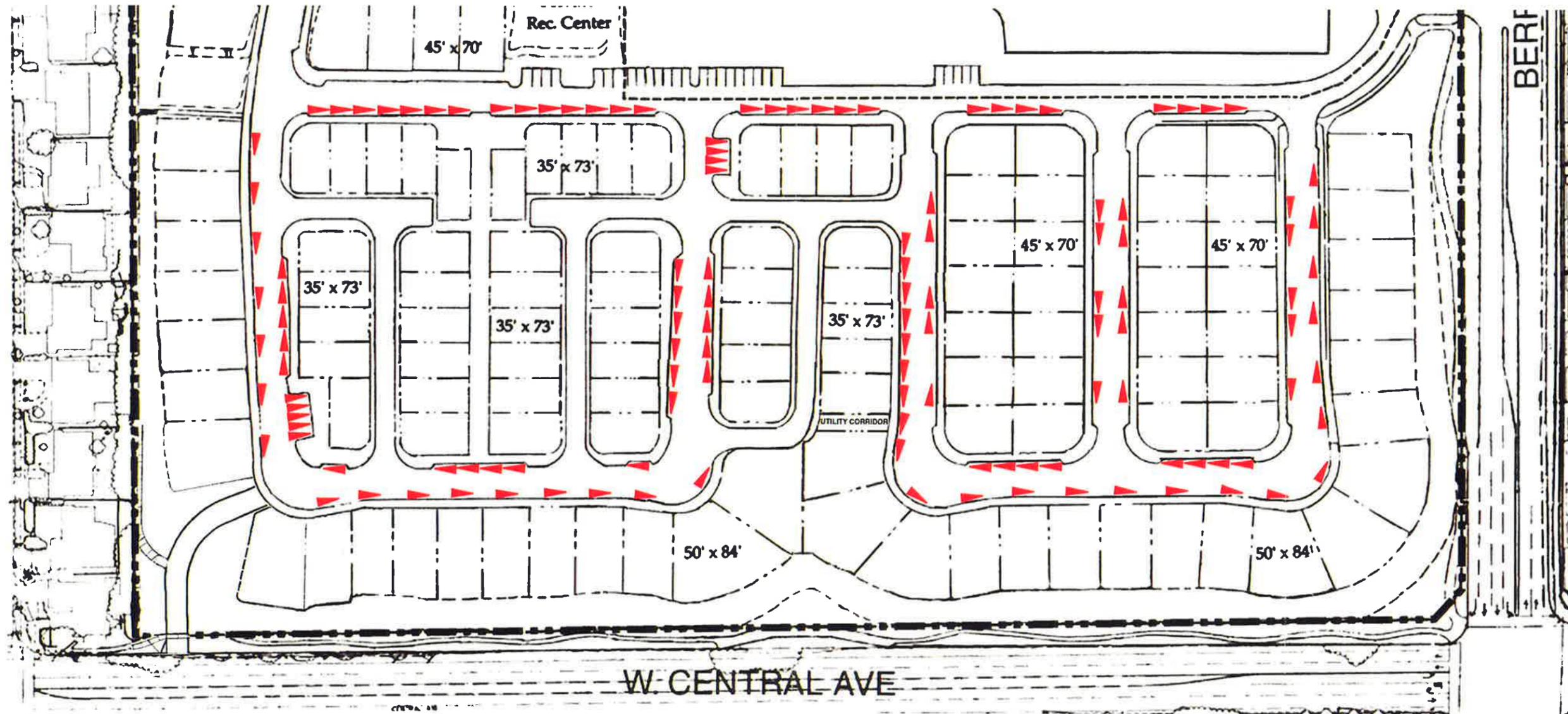
**Legend**

- ▶ Residential Parking Spaces
- ◀ Public and Private Recreation Parking Spaces

Note: The number and location of parking spaces in the plan will be the result of the final Tentative Map as approved by the City of Brea.

- \* Minimum 130 on-street residential parking spaces (northern half) (total minimum on-street residential parking spaces in plan is 255)
- \* 40 public park and private recreation center parking spaces





**Legend**

▶ Residential Parking Spaces

Note: The number and location of parking spaces in the plan will be the result of the final Tentative Map as approved by the City of Brea.

\* Minimum 125 on-street residential parking spaces (southern half)  
(total minimum on-street residential parking spaces in plan is 255)

**5.5 DESIGN FEATURES**

A number of specific design features have been incorporated into the Tomlinson Park design concept as discussed below. These design features are consistent with TND principals and the City of Brea's Community Design Guidelines.

**Mailboxes**

Mailboxes will be clustered in four to six groupings and should be located in a structure similar in architectural style and character of the Specific Plan with a minimum of three different types to reflect the different housing types within the Tomlinson Park project.

**Street Addresses**

Street addresses will be located on the front of the homes with a minimum of three different type styles to add variety the neighborhood design. Addresses will be posted on rear gates that take access from alleys and will contrast with the background. Numbers will be a minimum of three inches tall. Addresses shall be placed at a location acceptable to the City of Brea Fire Department. Please refer to Section 4.4 for additional regulations regarding street addresses.

**Mixing Home Types**

The unusual mix of housing sizes and lot types creates variety and enhances the character of the community. By departing from the conventional site planning approach the plan achieves a greater degree of variety to the street scene, avoids the typical subdivision appearance, and provides for a variety of housing types within a single community.

**Livable Front Yards**

The front yards will be designed to function as an integral part of the living area. The design is fashioned after beach areas such as Old Corona Del Mar and Balboa Island. The front porches will extend beyond the architecture with useable patios and low picket type fencing. The front yard becomes an extension of the home and a place to socialize rather than a just a visual facade.

The builder will provide landscaped parkways and automatic sprinkler systems in all the fronts of the homes. The builder will install front yard landscaping on the 35' x 73' lots.

**Driveways**

On the 50' x 84' lots, 50% of the garages front the street. The 44' x 70' lots have 57% of the garages fronting the street. The driveways of these lots will have additional design elements that will soften the typical driveway look with landscaping and hardscaping. Driveway design elements will be

included on 100% of the driveways facing the street to break up the expanse of paving and to provide an opportunity to increase landscaping. When used, the ribbon should extend the majority of the

driveway and have a minimum internal grass width of 18 inches. It will be stipulated in the CC&R's that the ribbon driveway will be maintained by the homeowner and at no time shall the landscaped strip be filled in with concrete or other solid paving materials. Irrigation of the ribbon planting area will also be required. Examples of possible driveway articulation are shown on Exhibit 5-30.

**Garages to the Rear**

All the homes have been designed with careful attention to the garage placement. Rather than having the garage dominate the fronts of homes, the design has used a system of public residential lanes (35' x 73' lots) behind the houses for garages. The smallest lots (35' x 73') have been designed so that the front of the home faces a public street or greenbelt with a five-foot landscaped parkway between the curb and sidewalk. The remaining two housing types have courtyard homes with up to 50% rear garages for the 50' x 84' lots and 43% rear garages for the 44' x 70' lots. This allows a private courtyard and garages that are not very visible to the street. In addition, 33% of the 50' x 84' lots may have turn-in garages to avoid the garage door facing the street. The driveways are reduced in width (to a minimum of 9 feet) on the courtyard homes with garages oriented to the rear to allow more landscaping in the front areas and ribbon-style driveways are added to introduce more grass area and break up the expanse of paving.

**Main Entrance**

The main entrance from Berry Street into the project site will be constructed with concrete bands/paving texture within the public street. The extent of the proposed park improvements and the arc entry feature are designed to have high visual appeal upon entering the site.

**Art in Public Places**

The Tomlinson Park Specific Plan project will be required to meet the provisions of the City's Art In Public Places Program pursuant to Section 20.408.040 C.4. of the Brea City Code.

The northwest corner of Berry Street and West Central Avenue as depicted in Exhibit 5-4 (Proposed Berry Street Plan View) is the selected location of the Art in Public Places element, consisting of a tall linear monument. The location for the art piece was considered during the design of the project area and chosen because of its high visibility from the intersection in keeping with the City of Brea's Art in Public Places Guidelines requiring high visibility for an public art piece. The art piece selection and location is subject to the review and approval of the Development Services Department and the Art In Public Places Advisory Committee and is further subject to the guidelines in place at the time of issuance of building permits.

**Open Appearance of Plan**

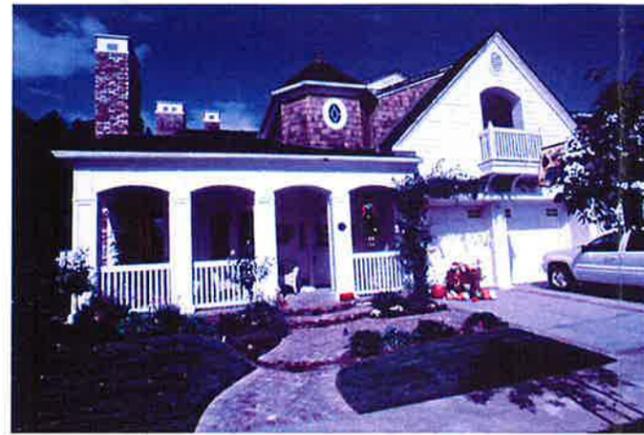
The site plan creates an extremely open feeling for the residents and visitors of Tomlinson Park. The primary entry provides a traffic arc and scenic views of the park. This view provides a scenic vista over approximately 700 feet in length. The width of the park is over 200 feet, with an open circulation area on both sides, resulting in a distance from house to house more than 300 feet on either side of the

**Description**

Half (50%) of the 50' x 84' lots and 43% of the 45' x 70' lots have garages that face the street. The driveways of these homes will have additional design elements that will soften the typical driveway look with landscaping and hardscaping. These are a few examples of what may be designed. Designs may include a scored pattern in concrete, a trellis, decorative brick, colored concrete, or stamped concrete.



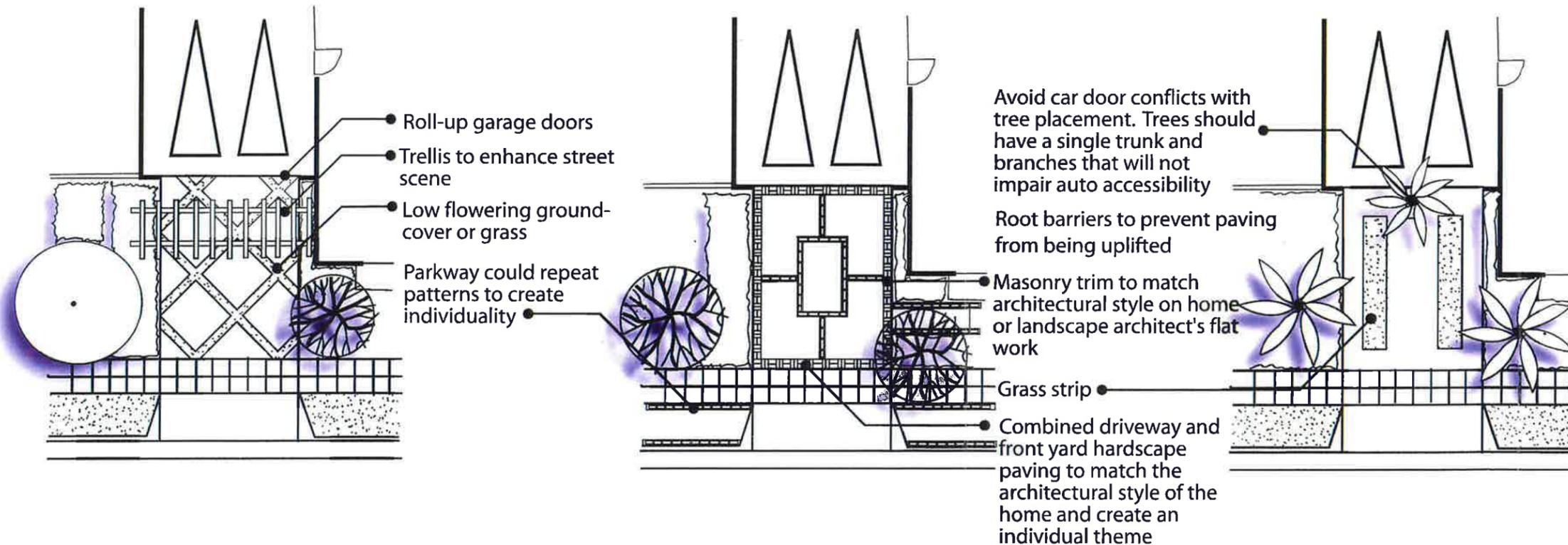
Driveways can actually add to the character and curb appeal of homes



Front walks can reflect the trim on the driveway edge



Driveway grass strips and veins on trellis over the garage door



park. All streets are designed to be limited in length and to provide a view to the park which adds to the feeling of openness.

### **Single Story Homes**

The project will include twenty-three houses that will be either true single story or modified single-story with a livable attic plotted on the 50' x 84' lots. A minimum of eight (8) of the true single-story will be placed along the northern perimeter of the project and an additional five (5) true single-story placed along the western perimeter. Placement of the single story homes should be done in such a manner as to have the most impact on reducing roofline massing along the northern and western perimeters of the plan. The remaining ten (10) houses may be modified single-story with a livable attic, but may not exceed 21' in height. Please refer to Exhibit 5-31 for examples of cross sections for both true single-story and livable attic, photographs of livable attic interiors and photos of rooflines with dormers.

### **5.6 TOMLINSON PARK**

The 4.1 acre public park and 0.5 acre private recreation facility will include a minimum of 40 perpendicular parking spaces. The actual number of parking spaces for the public park may be more depending on final park design as directed by the City of Brea. The net landscaped and hardscaped area covers approximately 3.5 acres. Approximately 0.6 acres is devoted to perimeter parking and half of the surrounding circulation street. There is also a 0.5 acre private recreation area at the western end of the park that will be maintained by the Homeowner's Association. The improvements are shown on the conceptual park plan (see Exhibit 3-13) which will be updated once the final park design has been approved by the City of Brea. The amount and type of facilities in the public park are proposed to be at Level "B" described in the City of Brea Parks Master Plan guidelines and facilities for neighborhood parks. The neighborhood park will be maintained by the City of Brea at Level "B." Specific architectural and lighting details for the park will be further defined and planned as the park is formally approved after the specific plan approval.

The 4.1 acre public park in the center of the property is designed to be a passive park with active turf and court areas. The park will be used for informal recreation including, but not limited to, lawn games, jogging, skating, cycling, picnicking, dog walking, reading, and sunbathing. The open lawn area located at the eastern portion of the public park provides an area for active recreation. There will be a berm/low hedge on the east side of the open lawn area to stop balls from reaching the street. A children's play area/tot lot and restrooms with curb access will be located beside the lawn area. The passive park area provides canopy trees for picnic areas and passive areas with open vistas, followed by a non-lighted basketball court. Two lighted tennis courts are located at the eastern end of the public park adjacent to the private recreation facility. A possible shared fence will separate the public park from the private recreation facility.

There are numerous pedestrian entries to the park from all directions. The interior pathway surrounds the open lawn area at the eastern end of the park. The path enters into the park in several locations and meanders within the park area. Another path surrounds the park. The perimeter of the park grass area is lined with flowering trees as depicted in the Illustrative Plan, Exhibit 5-32. An additional pedestrian



Dormer provides light and ventilation to the home.

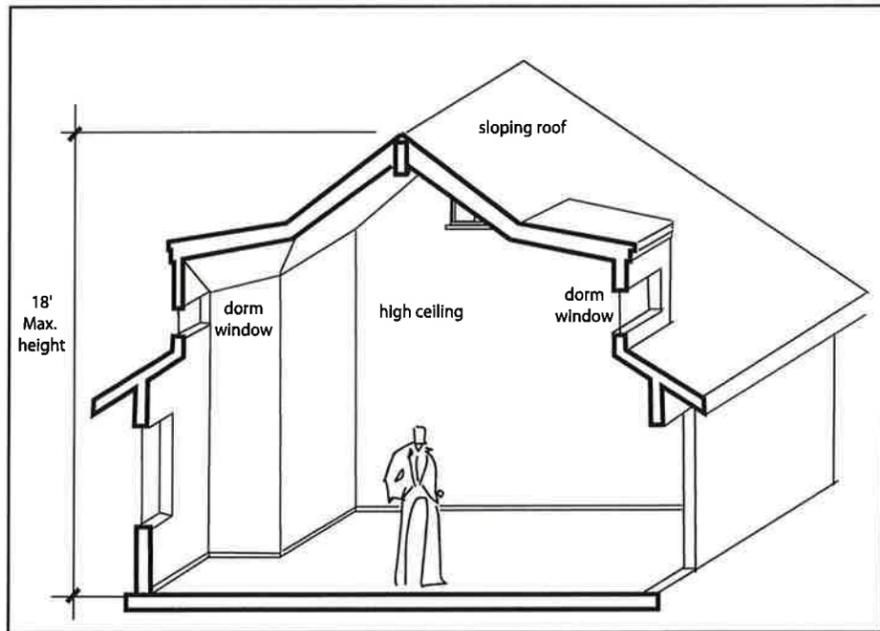


Dormer dramatically improves appearance with livable attic.



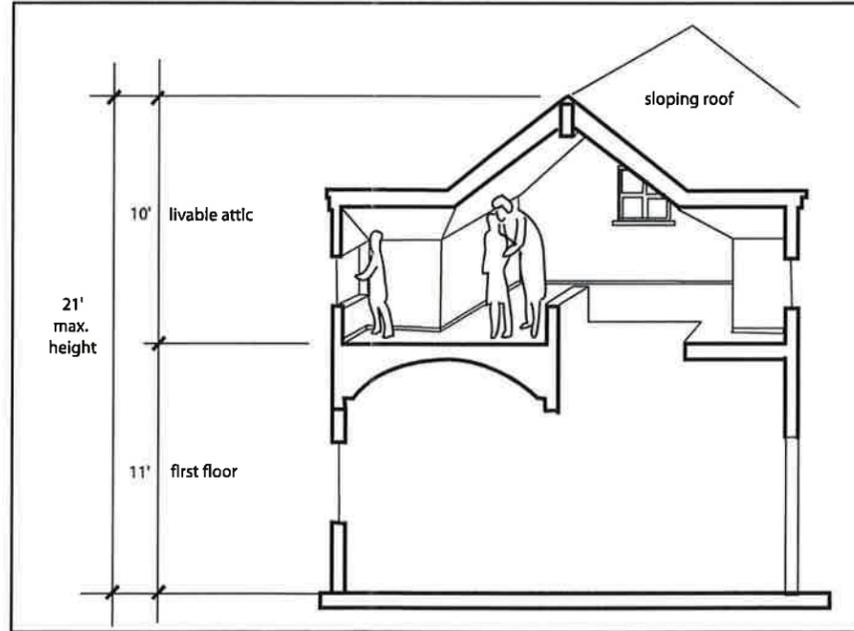
**Livable Attic**

The area normally underutilized in attics could be used as rooms within the roofline. The doorway is approximately seven feet tall.



**Single Story Volume with Dormers (True Single Story)**

Cross section of a single story home with volume interiors and no attic space. Dormers, as an option, provide for a more aesthetically pleasing elevation, interior volumes, light, and air ventilation. The height of the house is 18 feet.



**Livable Attic**

Cross section of a single story home with livable attic space. The height of the house is 21 feet. These livable attic homes can be found only along Berry Street and West Central Avenue. Up to 700 square feet could be utilized within the attic.

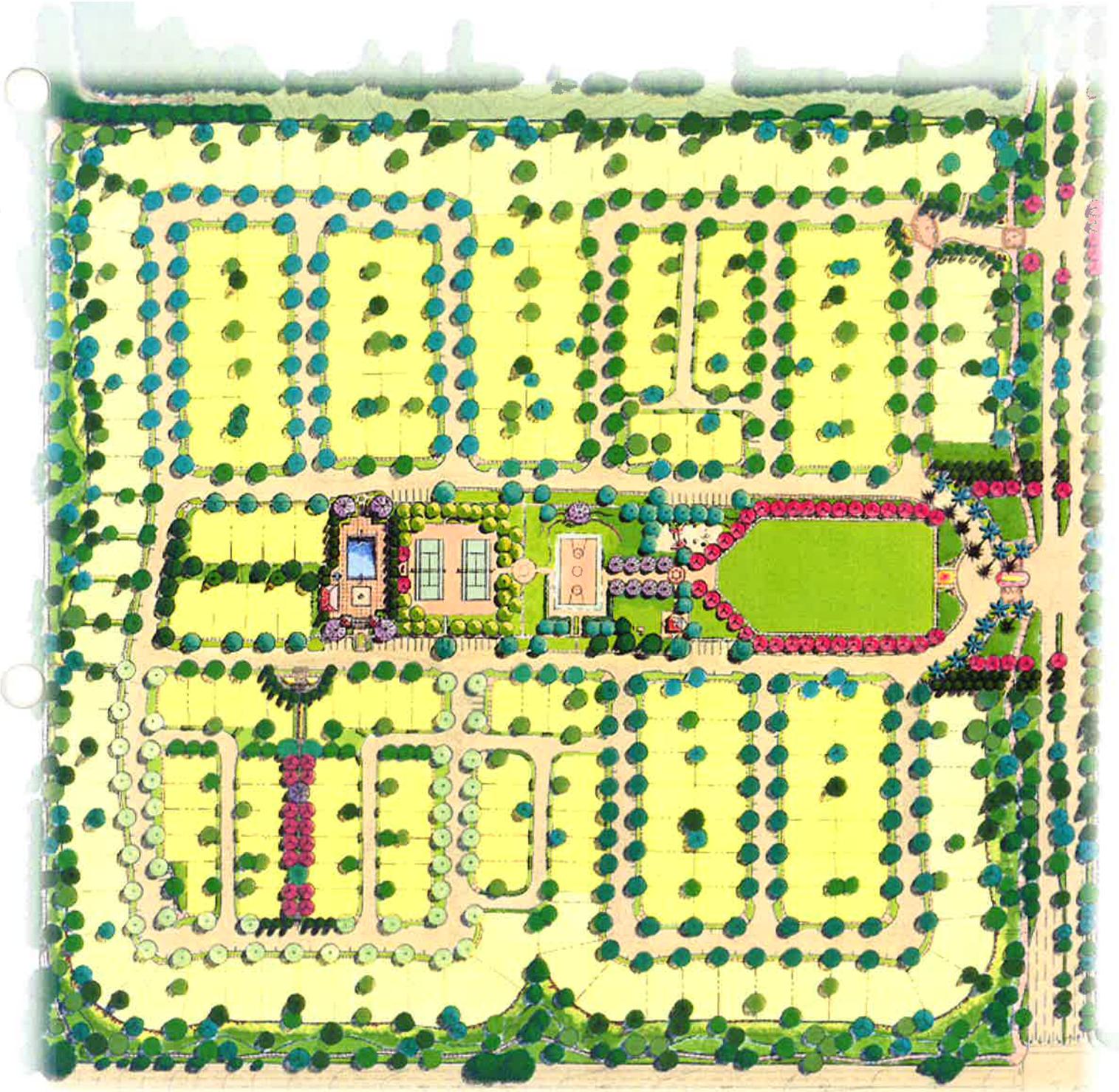


**Livable Attic**

Reclaimed attic space under construction. The dormer is no more than five feet high at the windows. These windows allow for light and ventilation.

**Note:** Photographs are conceptual only.



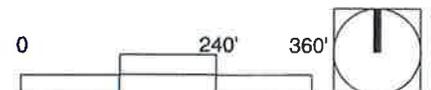


Note: This Illustrative Plan is conceptual only.

Tomlinson Park Specific Plan

Exhibit 5-32

**ILLUSTRATIVE PLAN**



access point is located at the southwest corner of the property near West Central Avenue and is incorporated into the design of the Emergency Vehicle Access ramp.

The private recreation area is located beyond the lighted tennis courts at the western end of the park. The private recreation area offers many amenities including a trellis, pool, jacuzzi, restrooms, and a barbecue/outdoor fire place. The private recreation facility is only for use by Tomlinson residents and on a contract basis and will be controlled by an access gate.

According to the City of Brea Parks and Recreation Element of the General Plan, the Tomlinson Park Specific Plan project area is located in Recreation Service Area 1 and is currently served by Woodcrest Park. The General Plan identifies Service Area 1 as being in need of additional park space. The park has been designed to maximize the visual supervision of and by the future residents. This design allows for high visibility by future residents and increased safety and supervision whereby the residents take an active interest in park maintenance and activities. The builder/developer shall be responsible for dedicating the property for the park and for the funding and installation of the improvements.

## **5.7 LANDSCAPE GUIDELINES**

### **5.7.1 Master Landscape Plans**

The Master Landscape Plans for the Tomlinson Park project are shown on the Illustrative Plan, Exhibit 5-32. The purpose of the Master Landscape Plan is to ensure that the Tomlinson Park project minimizes impacts between adjacent land uses, while creating dynamic streetscenes and landscaping and landscape lighting which tie the entire project together. The landscape development concept is intended to provide a continuous and harmonious setting for the entire community. The conceptual landscape plans have been designed to accomplish the following goals:

- To provide a consistent and harmonious landscape setting and environmental character.
- To identify special features and landscape treatments such as project entries, the public park and private recreational area, and the streetscenes.
- To develop landscape edge conditions that integrate the project into the surrounding community.
- To encourage selection of plant materials and implement irrigation techniques that will maximize aesthetic quality while minimizing resource consumption.

### **5.7.2 Landscape Planting Palette**

It is the intent of these Landscape Design Guidelines to provide flexibility and diversity in plant materials, while encouraging the use of a limited palette of primary plant materials in order to give greater unity and thematic identity to the Tomlinson Park community. Therefore, rather than limit permitted plant materials to a narrow list of plant species, the aim of these guidelines is to encourage

the use of a variety of plants carefully selected for their appropriateness to the community identity, climatic conditions, soil conditions, and ease of maintenance. Therefore, all plant materials including but not limited to those listed on the following Master Plant List, shall be permitted within the Tomlinson Park Specific Plan area.

The following plant materials are permitted and recommended for incorporation into the planting palette for specific development projects within Tomlinson Park. The list of acceptable plant materials is not limited exclusively to these plants. Additional plant materials could also be considered as appropriate. The final landscaping plans will be provided by the builder’s landscape architect and will be subject to City review and approval. These guidelines are intended as a starting point to allow creativity and quality in the design.

1. Tree Palette for Tomlinson Park

- A - Berry Street & West Central Avenue
- B - Primary Entry
- C - Secondary Entry
- D - Residential Local Streetscape
- E - Open Space (slope)
- F - Community Park
- G - Drought Tolerant

Tree Palette for Tomlinson Park								
BOTANICAL NAME	COMMON NAME	A	B	C	D	E	F	G
<i>Alnus rhombifolia</i>	White Alder						●	
<i>Bauhinia variegata</i>	Purple Orchid Tree		●				●	
<i>Brachychiton populneus</i>	Bottle Tree						●	
<i>Eucalyptus sideroxylon</i> ‘Rosea’	Pink Iron Bark					●	●	●
<i>Geijera parviflora</i>	Australian Willow				●			●
<i>Gleditsia triacanthos</i>	Honey Locust						●	
<i>Jacaranda mimosifolia</i>	Jacaranda	●					●	
<i>Liquidambar styraciflua</i> ‘Palo Alto’	Sweet Gum	●	●	●				
<i>Melaleuca quinquenervia</i>	Cajeput Tree						●	
<i>Metrosideros excelsa</i>	New Zealand Christmas Tree				●	●		

Tree Palette for Tomlinson Park								
BOTANICAL NAME	COMMON NAME	A	B	C	D	E	F	G
Phoenix canariensis	Canary Island Date Palm		●					●
Pinus canariensis	Canary Island Pine	●	●	●		●		●
Pinus halepensis	Aleppo Pine					●	●	●
Pinus pinea	Italian Stone Pine					●	●	●
Platanus Acerfolia	London Plane Tree			●	●		●	
Populus nigra 'Italica'	Lombardy Poplar		●					
Pyrus calleryana 'Aristocrat'	Aristocrat Pear				●			
Quercus ilex	Holly Oak		●				●	●
Quercus virginiana	Southern Live Oak		●	●			●	
Rhus lancea	African Sumac				●			●
Tristania conferta	Brisbane Box				●	●		
Ulmus parvifolia	Chinese Elm					●	●	
Ginkgo biloba	Maidenhair Tree						●	
Cinamomum camphora	Camphor Tree						●	
Citrus spp.	Orange Tree						●	
Avocado	Avocado							
Platanus racemosa	California Sycamore		●				●	●
Prunus persica	Peach							

2. Shrub Palette for Tomlinson Park

- A - Berry Street & West Central Avenue
- B - Primary Entry
- C - Secondary Entry
- D - Residential Local Streetscape
- E - Open Space (slope)
- F - Community Park
- G - Drought Tolerant

Shrub Palette for Tomlinson Park								
BOTANICAL NAME	COMMON NAME	A	B	C	D	E	F	G
<i>Abelia grandiflora</i>	Glossy Pink Abelia	●					●	
<i>Agapanthus species</i>	Lily of the Nile				●	●		
<i>Bougainvillea 'La Jolla'</i>	Bougainvillea		●			●		●
<i>Buxus sempervirens</i>	Boxwood		●	●			●	
<i>Carissa grandiflora 'Tuttlei'</i>	Tuttle Natal Plum		●	●	●		●	
<i>Ceanothus griseus 'Horizontalis'</i>	Carmel Creeper	●			●		●	●
<i>Chrysanthemum species</i>	Chrysanthemum				●	●		
<i>Cistus hybridus</i>	White Rockrose	●						●
<i>Cistus ladanifer</i>	Crimson-Spot Rockrose	●						●
<i>Coprosma kirkii</i>	Mirror Plant			●		●		
<i>Cotoneaster species</i>	Cotoneaster			●				
<i>Diets bicolor</i>	Fortnight Lily		●		●			
<i>Diets vegeta</i>	Fortnight Lily		●		●			
<i>Feijoa sellowiana</i>	Pineapple guava			●				●
<i>Grevillea 'Noellii'</i>	Grevillea			●				●
<i>Hemerocallis dwarf</i>	Day Lily		●			●	●	

Shrub Palette for Tomlinson Park								
Heteromeles arbutifolia	Toyon	●				●	●	●
Juniper species	Juniper	●	●		●	●	●	●
Lagerstroemia indica 'Petite Embers'	Dwarf Shrub Crepe Myrtle			●	●			
Lantana montevidensis	Trailing Lantana		●	●	●		●	●
Nandina domestica	Heavenly Bamboo						●	●
Nandina domestica 'Nana'	Dwarf Heavenly Bamboo				●		●	
Phormium species	New Zealand Flax		●					●
Photinia fraseri	Fraser's Photinia						●	
Pittosporum tobira	Tobria						●	
Pittosporum variegata	Variegated Pittosporum						●	
Podocarpus species	Yew Pine					●	●	
Pyracantha species	Firethorn					●		●
Raphiolepis indica	India Howthorne	●	●		●	●	●	●
Rosmarinus officinalis	Rosemary		●					●
Rosmarinus officinalis 'Prostratus'	Rosemary		●					●
Strelitzia reginae	Bird of Paradise		●			●		
Tecomaria capensis	Cape Honeysuckle	●			●	●	●	●
Viburnum tinus	Lauristinus	●					●	
Xylosma congestum 'Compacta'	Dwarf Shiny Xylosma	●	●				●	

3. Groundcover Palette for Tomlinson Park

- A - Berry Street & West Central Avenue
- B - Primary Entry
- C - Secondary Entry
- D - Residential Local Streetscape
- E - Open Space (slope)
- F - Community Park
- G - Drought Tolerant

Groundcover Palette for Tomlinson Park								
BOTANICAL NAME	COMMON NAME	A	B	C	D	E	F	G
Ceanothus Species	Prostrate Ceanothus	●		●				●
Gazania 'Mitsuwa Yellow'	Yellow Trailing Gazania		●		●	●	●	●
Lantana Species	Prostrate Lantana		●		●	●	●	●
Lonicera Japonica 'Halliana'	Hall's Honeysuckle		●	●				●
Myoporum parvifolium	Myoporum			●				
Rosemarianus Officinalis 'Prosrata'	Prostrate Rosemary	●				●		●
Turf Type	Bermuda/Perennial Rye	●	●	●	●		●	
Vinca Minor	Dwarf Periwinkle	●		●	●		●	
Decomposed Ganite	Granite	●					●	
Shredded Bark Mulch	Mulch	●	●	●	●	●	●	

4. Vines/Espaliers for Tomlinson Park

- A - Berry Street & West Central Avenue
- B - Primary Entry
- C - Secondary Entry
- D - Residential Local Streetscape
- E - Open Space (slope)
- F - Community Park
- G - Drought Tolerant

Vines/Espaliers for Tomlinson Park								
BOTANICAL NAME	COMMON NAME	A	B	C	D	E	F	G
Bougainvillea 'Southern Rose'	Bougainvilla		●			●		●
Cynodon dactylon	Bermuda Grass		●	●			●	
Gelsemium sempervirens	Carolina Jessamine			●		●		
Lolium perenne	Perennial Ryegrass		●	●			●	
Lonicera halliana	Hall's Honeysuckle					●	●	●
Parthenocissus tricuspidata	Boston Ivy				●	●		
Rosa banksiae	Lady Bank's Rose		●					
Tecomaria capensis	Cape Honeysuckle					●	●	●
Trachelospermum jaminoides	Star Jasmine					●	●	
Wisteria sinensis	Chinese Wisteria		●				●	

A detailed plant palette and a more detailed concept plan including plant size and location must be submitted to the City of Brea for Design Review by the Planning Commission prior to the commencement of construction for any development project within the Tomlinson Park Specific Plan Area. The final conceptual design of the park area must also be approved by the Parks and Recreation Commission.

**6.1 PURPOSE AND INTENT**

Development will be implemented in conformance with the regulations and guidance contained within the Specific Plan Document. This section contains the procedures for administration of the provisions contained herein. This section contains development regulations and policies for guiding the orderly development of 38.8 acres located within the City of Brea. Implementation of the plan will further be carried out by a method of Site Plan/Concept Plan Review and approval as outlined in Section 6.3. Other information covered in this chapter pertains to general administration, subdivision, amendment procedures, and the linkage between these elements. In addition to Site Plan/Concept Plan Review, the applicant is requesting a Tentative Tract Map approval for the entire project. A portion or portions of the Tomlinson Park Specific Plan area may be separately financed, sold, leased or otherwise conveyed.

**6.1.1 Relationship to the Zoning Code**

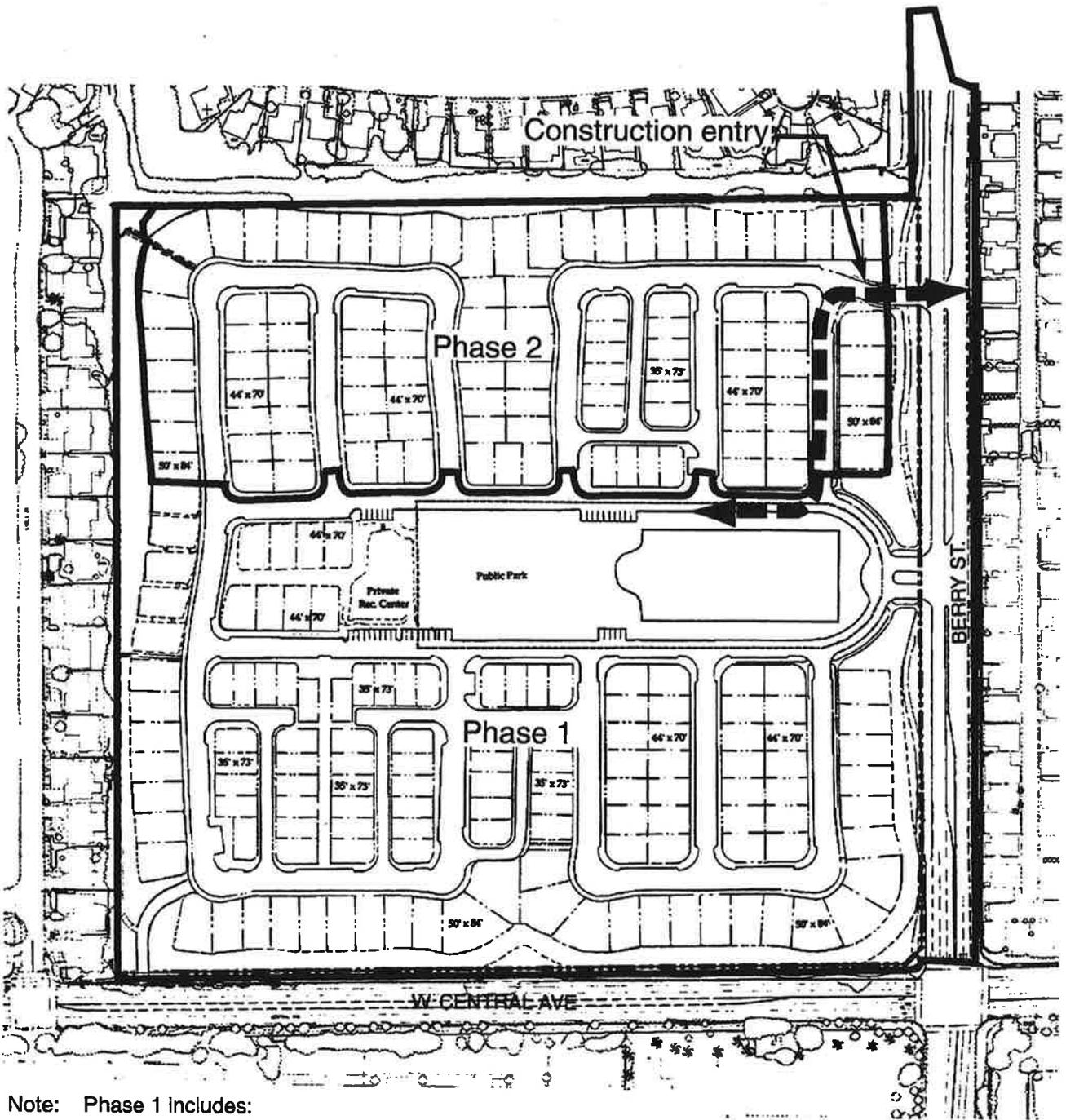
This Specific Plan augments the development regulations and standards of the City of Brea's Zoning Code. When an issue, condition or situation occurs which is not covered or provided for in this Specific Plan, the regulations of the Zoning Code that are most applicable to the issue, condition or situation shall apply. In the event that the provisions of the Specific Plan are in conflict with the Zoning Code, the provisions of the Specific Plan shall prevail.

**6.2 PHASING PLAN**

The Tomlinson Park Specific Plan is expected to be graded all at once but will be built in two phases, as shown on Exhibit 6-1. Phase 1 will include full improvements to Berry Street and West Central Avenue; completion of the public park and private recreational facility; site grading; and landscaping on Berry Street, West Central Avenue, and the slope bank on the western boundary. Construction of the northern portion of the site (all portions above the park) will be completed as part of Phase 2. It should be noted that individual homes will be constructed in subphases within each phase. All required in-tract improvements to interior circulation, drainage, and utility infrastructure (e.g., water, sewer, etc.) will be completed concurrently with each construction phase of the residential lots. Utility improvements must be reviewed and considered for inclusion in the phasing plan by the City Engineer. Model homes may be built within Phase 2 only if a model complex plan has received approval from the City of Brea.

**6.3 SUBSEQUENT PRECISE DEVELOPMENT PLAN REVIEW**

The Specific Plan shall be implemented through a method of Precise Development Plan Review, and phasing of individual building phases within the Specific Plan area must meet City of Brea's Precise Development Plan Review requirements. A Precise Development Plan Review shall be required for all major development projects within the Specific Plan area requiring a building permit. The tentative tract map and parcel maps (if any) may be processed independent of the Precise Development Plan Review procedures, Chapter 20.260 of Brea City Code, in accordance with the Brea's Subdivision Ordinance.



- Note: Phase 1 includes:
- Berry Street and West Central Ave. full improvements
  - Public Park and Private Recreation Area
  - Grading for the entire site
  - Improvements including utility infrastructure (water, sewer, storm drain, etc. to be completed concurrently with grading)
  - Landscaping on Berry Street, W. Central Ave. and slope bank on the western boundary
  - Emergency Vehicle Assess/pedestrian ramp.
- Subphases are permitted within each phase.
  - Models may be located in Phase 2 with necessary infrastructure.

Tomlinson Park Specific Plan

Exhibit 6-1  
PHASING PLAN

Precise Development Plan Review amendments will not be required for minor project interior alterations provided that the square footage increase does not exceed the lot coverage standards in the Specific Plan nor use intensifies the uses. For Principal Permitted Uses subject to a Precise Development Plan pursuant to the provisions of Section 3.0 of the Tomlinson Park Specific Plan, the procedures specified in Section 20.260 of Brea's Zoning Ordinance shall apply. Precise Development Plans shall require approval by the Planning Commission.

All proposed projects within the Specific Plan area shall be required to have an approved Precise Development Plan prior to issuance of building permits or concurrent with subdivisions, conditional use permits or any other permit for the property. The Precise Development Plan Review procedure is necessary for the following reasons:

1. To ensure consistency with the Specific Plan and all implementing ordinances.
2. To promote the highest contemporary standards of site design.
3. To adapt to specific or special development conditions that occur from time to time while continuing to implement the Specific Plan and conform development to the implementing ordinances.
4. To facilitate complete documentation of land use entitlements authorized and conditions pertinent thereto.
5. To adapt to substantial changes that may occur with respect to the circumstances under which the project is undertaken.

To facilitate its implementation, this Specific Plan has been adopted by ordinance. This ordinance establishes that all development of the Specific Plan site will be governed, in order, by (1) this Specific Plan and (2) all other general ordinances of the City relating to the development of property within the City's jurisdiction, including the City's Subdivision Ordinance and Zoning Ordinance.

### ***6.3.1 Tract Map Approval***

All subdivision maps of any type (e.g. tentative or final, vesting or nonvesting, tract or parcel) shall be submitted, reviewed and approved in accordance with the City of Brea's Subdivision Ordinance No. 569 and the California Subdivision Map Act. Where the provisions or procedures of Subdivision Ordinance No. 569 conflict with the provisions of this Specific Plan, the Specific Plan shall apply.

- a. Tentative Parcel Map (Large-Lot Subdivision) -- A tentative parcel map(s) may be prepared for financing or conveyance purposes and subject to further subdivision prior to construction of development, as permitted by Section 820, of the City's Subdivision Ordinance No. 569. Said subdivision shall be subject to review and approval in accordance with Section 310 of the City's Subdivision Ordinance.

- b. Tentative Tract Maps -- For residential projects requesting a Tentative Tract Map, the provisions and procedures of this Specific Plan, and notwithstanding the procedures of the City's Subdivision Ordinance No. 569, Section 310, shall apply.

### ***6.3.2 Revisions to the Precise Development Plan***

After a City approval of the Precise Development Plan, minor adjustments to the size, location, and design of any uses or structures may be approved by the Development Services Director pursuant to the Tomlinson Park Specific Plan. If the Development Services Director determines that the proposed revision is in substantial conformance with the provisions of the Tomlinson Park Specific Plan and the general intent of the approved Precise Development Plan, the revised Precise Development Plan shall be approved by the Development Services Director. The decision of the Development Services Director shall be final, unless appealed to the Planning Commission within ten days from the date of such decision. The Director of Development Services may exempt the following revisions or changes from additional Planning Commission review and approval:

- 1) All interior changes to the subdivision including alterations to the size of 2<sup>nd</sup> floor residential units and/or number of bedrooms that do not result in an increase of intensity or number of dwelling units
- 2) Minor variations and refinements in architectural theme, architectural elevations and footprints
- 3) Minor adjustments to site plan lot lines and/or landscape plan as a result of engineering refinements and/or City review/revisions.

### ***6.3.3 Site Plans/Conditional Use Permits/Variances***

Except where this Specific Plan provides otherwise, the provisions of the City's Zoning Ordinance dealing with "Administrative Procedures" (Chapter 20.408) and "Quasi-Judicial Procedures" (Chapter 20.412) shall apply.

## ***6.4 GENERAL ADMINISTRATION***

The Tomlinson Park Specific Plan shall be administered and enforced by the City of Brea Development Services Department in accordance with the provisions of the City of Brea's Zoning Ordinance.

Certain changes to explicit provisions in the Specific Plan may be made administratively by the Development Services Director, subject to appeal to the Planning Commission and, subsequently, the City Council, or may require approval by the Planning Commission. These changes are as follows:

1. The addition of new information to the Specific Plan maps or text that does not change the effect of any regulations or guidelines.
2. Changes to the community infrastructure, such as drainage, water, and sewer systems which do not have the effect of increasing or decreasing development capacity in the Specific Plan area, nor change the concepts of the Plan.
3. The determination that a use be allowed which is not specifically listed as permitted but which may be determined to be similar in nature to those uses explicitly listed as permitted.

### **6.5 SUBDIVISION**

The City of Brea's Subdivision Ordinance shall apply to all development within the Specific Plan area required to obtain approval of subdivision maps where properties are to be separately financed, sold, leased or otherwise conveyed. The subdivision process will allow for the creation of lots as parcel or tract maps which will allow for implementation of the phasing plan. The review and approval of subdivision maps would set forth the various conditions necessary to ensure the improvement of streets, utilities, drainage features, and other service requirements specified by the City.

### **6.6 AMENDMENT PROCEDURES**

In accordance with the California Government Code Sections 65453-65454, Specific Plans shall be prepared, adopted and amended in the same manner as general plans, except that specific plans may be adopted by resolution or by ordinance.

This plan may be amended as necessary in the same manner it was adopted, by ordinance. Said amendment or amendments shall not require a concurrent general plan amendment unless, it is determined by City Staff that the proposed amendment would substantively affect the General Plan goals, objectives, policies or programs.

### **6.7 SPECIFIC PLAN PROGRAMS/COMPREHENSIVE FUNDING PLAN**

The ability to fund public facilities necessary for support of development is one of the most challenging aspects of the planning and development process. The overall approach proposed in the Tomlinson Park Specific Plan is to use one or more of the basic funding approaches indicated below to phase logical and affordable increments of the Public Facilities and Services in conjunction with appropriate components of development. Although the following list is not considered all-inclusive, some of the most common financing methods are discussed below.

**6.7.1 Basic Funding Approaches**

This section of the Specific Plan will ultimately reflect the mechanisms used. The agreements, contracts and details such as the entitlements will be drafted in separate documents outside of the Specific Plan. However, these conditions of approval are expected to include the following distributions of capital costs for infrastructure:

1. **Park Improvements** - Surrounding infrastructure costs including park perimeter vehicular access and parking, sewer, water, storm drain, and grading will be the responsibility of the Builder/Developer. The capital improvement costs are proposed to be the responsibility of the builder. Total park cost for on-site improvements will not exceed \$700,000 on the net 3.5 acres of planted/hardscaped park area.
2. **Park Maintenance** - The City of Brea will be responsible for maintaining the park at level "B," the City's standard for park maintenance.
3. **Infrastructure Improvements East Side of Berry Street and North of the Project Site** - All improvements detailed in this Specific Plan for the east side of Berry Street and north of the project site shall be the responsibility of the Builder/Developer to fund and construct

**6.8 IMPROVEMENTS TO PARK**

The builder/developer shall be responsible for the construction of park improvements on the 4.1 acre public park site (3.5 net green parkland) within the project. The scope of the park improvements shall be determined by the City after consultation with the landowner and shall not exceed a cost of Seven Hundred Thousand Dollars total (\$700,000). Refer to Exhibit 3-12 (Conceptual Park Plan) for a concept plan of potential park improvements.

**6.8.1 Phasing Schedule**

An irrevocable offer of dedication of the park site shall be recorded with the final maps. Park improvements shall be completed prior to issuance of the 100th certificate of occupancy within the Specific Plan area.

**6.8.2 Costs for Park Maintenance**

The City will be responsible for maintenance of park and will maintain the park at Level B.

**6.8.3 *Infrastructure Improvements to Park***

The builder/developer will construct the perimeter street circulation, 40 parking bays, perimeter storm drain system, sewer stub line to the restrooms, site rough grading, and any remedial grading for the park at no cost to the City.

**6.8.4 *Additional Contributions to Park by Landowner/Builder/Developer***

The General Plan identifies the need for a 5-acre neighborhood park within the project area. The Quimby Act requirement for this project amounts to a dedication of 3.22 acres of land to the City. The landowner/builder/developer have made the commitment to dedicate a total of 4.1 acres of public park land, circulation and associated parking. In addition, the infrastructure improvements necessary to dedicate a fully-improved park site shall be the responsibility of the builder/developer.

**6.9 *AFFORDABLE HOUSING***

On February 16, 1993, the City Council adopted Ordinance No. 934 amending Zoning Ordinance No. 20.40 by adding provisions relating to affordable housing. The Ordinance and its Guidelines (City Council Resolution No. 93-16) require all developers of twenty or more dwelling units to provide ten percent of the units as affordable housing. In return, the City may provide incentives sufficient to offset the developer's cost of providing the affordable units.

"Affordable" units are defined as those "which are rented or sold at a price within the range of low-to-moderate income households" and contain resale controls to ensure the units remain affordable. Because of City of Brea Ordinance and its Guidelines, the Tomlinson Park project must comply with the provisions of Ordinance No. 934 at the time the Precise Development Plan is submitted to the City for review. Prior to the issuance of any building permits, the owner shall enter into a recorded affordable housing agreement with the City specifying the affordable housing requirements contained in this section and the City's Affordable Housing Ordinance and Guidelines.

## 7.1 RELATIONSHIP TO THE CITY OF BREAS GENERAL PLAN

California Government Code (Title 7, Division 1, Chapter 3, Article 8, Section 65450 - 65457) permits the adoption and administration of specific plans as an implementation tool for elements contained in the local general plan. Specific plans must demonstrate consistency in regulations, guidelines and programs with the goals and policies set forth in the general plan.

The City of Brea General Plan contains the following elements: Land Use, Circulation, Housing, Open Space and Conservation, Parks and Recreation, Safety, Noise, Growth Management, and Historic Resources.

The Tomlinson Park Specific Plan is consistent with the Specific Plan (SP) land use designation contained in the adopted City of Brea General Plan. The Tomlinson Park Specific Plan has been prepared in conformance with the goals and policies of the General Plan, and no General Plan Amendment will be required. This section of the appendix includes a discussion of the goals and policies of each of the General Plan Elements.

The proposed General Plan designation for the site is Specific Plan (SP). This section documents the consistency with the Brea General Plan.

### 7.1.1 Land Use Element

This section describes the Land Use Element as it relates to the Tomlinson Park Specific Plan.

*Goal: Achieve a rural-suburban-urban city with land uses which meet the needs of Brea's neighborhoods, the entire community and regional employment, shopping and housing needs.*

#### Project Implementation:

The proposed project consists of a Specific Plan to allow for the development of 231 single-family residential units, a maximum of nine carriage units to be built as rentals as a builder's option, a 4.1 acre public park, and a 0.5 acre private recreational facility on the 38.8 acre site. Of the 231 total units, a total of 63 units have lot sizes of 35' x 73' (2,555 s.f.), 92 units have lot sizes of 44' x 70' (3,080 s.f.), and 76 units have lot sizes of 50' x 84' (4,200 s.f.). The site plan provides for a mix of housing sizes, lot types and styles patterned after a Traditional Neighborhood Design. This style will give a greater degree of variety to the street scene and avoid the look of a typical subdivision.

*Goal: Provide for residential and commercial land uses in areas of the Sphere-of-Influence which are located adjacent to the suburban-urban edge of the incorporated City.*

Project Implementation:

Not applicable.

*Goal: Designate the Carbon Canyon area primarily as a residential community offering a variety of residential densities and housing types with support commercial and commercial recreation uses within the context of a rural environment.*

Project Implementation:

Not applicable.

*Goal: Provide for a balanced land use distribution in Brea's neighborhoods, including single-family detached, single-family attached and multi-family housing; convenience and neighborhood shopping centers; park and recreation uses; and other appropriate uses.*

Project Implementation:

The Tomlinson Park Specific Plan includes a balanced land use distribution, including 231 single-family units, a public park, and a private recreation area. The Specific Plan considers the local and regional park needs of the residents through incorporation of public and private recreation facilities, benefitting future Tomlinson Park residents as well as existing Brea residents.

*Goal: Provide for land use development and employment expansion in the western and eastern industrial sectors of the City.*

Not applicable.

*Goal: Provide for urban-regional scale land use development in the centralized location of the Brea Mall and immediately adjacent areas.*

Project Implementation:

Not applicable.

*Policy: To permit only low intensity residential land uses as hillside areas of the Sphere-of-Influence are annexed to the City.*

Project Implementation:

Not applicable.

*Policy: To implement the following planning policies for the Carbon Canyon Specific Plan area:*

- *To provide housing opportunities compatible with a rural environment.*
- *To provide and maintain public services, utilities and amenities commensurate with the level of development proposed.*
- *To assist in completing community transportation linkages.*
- *To provide a safe, convenient and efficient internal circulation network.*
- *To preserve and/or enhance significant natural resources on-site.*
- *To promote a balanced open space system between active, usable recreational areas and more massive open space areas.*

Project Implementation:

Not applicable.

*Policy: To promote the revitalization and recycling of neighborhoods in Central Brea to medium and high density residential land uses offering ownership and rental housing opportunities through development of a Towne Plaza Specific Plan.*

Project Implementation:

Not applicable.

*Policy: To promote the commercial viability of the "Good Old Brea" area and the commercial corridors along Brea Boulevard and Imperial Highway through the development of a Brea Towne Plaza Specific Plan.*

Project Implementation:

No applicable.

**7.1.2 Circulation Element**

This section describes the Circulation Element as it relates to the Tomlinson Park Specific Plan.

*Goal: To promote the safe and efficient movement of people and goods.*

Project Implementation:

The Tomlinson Park Specific Plan provides for the widening of Berry Street, thus making the intersection more efficient. It provides for an on-road bicycle path.

*Goal: To expand the circulation system to accommodate planned development.*

Project Implementation:

The circulation system will be expanded in accordance with Exhibit 3-5 (Street Cross Section Location Map), Exhibit 3-6 (Street Cross Sections), Exhibit 3-8 (Street Cross Sections) and Exhibit 3-9 (Sections of Residential Lanes) of the Specific Plan and through the implementation of mitigation measures recommended in the EIR.

*Goal: To alleviate existing circulation system deficiencies.*

Project Implementation:

Implementation of the Specific Plan will complete the north side of Central Avenue around the project and alleviate the deficiency that exists currently.

*Goal: To encourage alternate modes of transportation.*

Project Implementation:

The Tomlinson Park Specific Plan provides an on-street bike and off-street pedestrian trail system within the Specific Plan area.

*Goal: To increase the operational efficiency of the circulation system at both the local and regional levels.*

Project Implementation:

Improvements at Berry Street will increase the operational efficiency by adding more north- and southbound lanes, street lights and two entries into the project site. Additionally, the Tomlinson Park Specific Plan will incorporate circulation system mitigation measures as recommended by the EIR to assist in increasing the operational efficiency of the circulation system.

*Goal: To protect residential streets from arterial street traffic.*

Project Implementation:

Berry Street will provide direct access to the proposed project. Access will not be provided to arterial streets from Central Avenue.

*Goal: To provide safe, convenient, and efficient routes for both commuter and recreational bicyclers.*

Project Implementation:

The Tomlinson Park Specific Plan will provide both Class I and Class II Bicycle Lanes along Berry Street and West Central Avenue.

*Policy: To coordinate with the Orange County Transportation Authority to respond to service demands as new development occurs.*

Project Implementation:

The project applicant will coordinate with the Orange County Transportation Authority regarding increased service demands.

*Policy: To encourage new commercial development to employ transportation system management strategies.*

Project Implementation:

Not applicable.

*Policy: To require improved street access for all development.*

Project Implementation:

The Specific Plan provides access to Tomlinson Park by West Central Avenue and Berry Street with direct access via Berry Street.

*Policy: To implement NOCCS recommendations to increase regional transportation efficiency.*

Project Implementation:

The Tomlinson Park Specific Plan will not interfere with the City's ability to implement NOCCS recommendations.

*Policy: To implement the recommendations of the Brea Mall/Civic Center Master EIR.*

Project Implementation:

Not applicable.

*Policy: To encourage provisions for bus turnouts in specific development projects.*

Project Implementation:

Proposed street improvements will incorporate bus turnouts where necessary.

*Policy: To promote other means of achieving circulation and transportation efficiencies such as ride-sharing and staggered hours.*

Project Implementation:

The Tomlinson Park Specific Plan provides both on-street bicycle trails along landscaped corridors, connecting open space areas to residential areas within the project.

*Policy: To continue to work with Cal-Trans and the City of Fullerton to determine the feasibility of an interchange at the intersection of Bastanchury Road and the Orange (57) Freeway.*

Project Implementation:

The Tomlinson Park Specific Plan will not interfere with the City's ability to work with CalTrans and the City of Fullerton regarding a Bastanchury Road interchange at the Orange (SR-57) Freeway.

*Policy: To evaluate, in conjunction with the Orange County Transportation Commission, the feasibility of Imperial Highway being designated a "super street."*

Project Implementation:

The Tomlinson Park Specific Plan will not interfere with the City's ability to work with the Orange County Transportation Authority on a super street designation for Imperial Highway, which has already occurred.

*Policy: To realign and develop Randolph Avenue as a secondary highway.*

Project Implementation:

The Tomlinson Park Specific Plan will not interfere with the City's ability to realign/develop Randolph Avenue, which has already occurred.

*Policy: To continue to work with Caltrans on the development of the Birch Street frontage.*

Project Implementation:

The Tomlinson Park Specific Plan will not interfere with the City's ability to develop the Birch Street frontage Road with Caltrans.

*Policy: To promote the development of the Birch Street Bridge and Birch Street as a secondary highway.*

Project Implementation:

The Tomlinson Park Specific Plan will not interfere with the City's ability to promote development of the Birch Street Bridge/Birch Street.

*Policy: Bike routes need to be designed to connect major activity centers and employment centers with residential areas.*

Project Implementation:

The Tomlinson Park Specific Plan will provide bicycle lanes that connects the residential development with the surrounding residential areas through on-street bicycle lanes.

*Policy: Bike routes need to be designed to serve the needs of both the commuter and the recreational rider.*

Project Implementation:

The Tomlinson Park Specific Plan will provide an on-street bicycle lane along Berry Street and West Central Avenue.

*Policy: Bicycle routes need to interface with the regional network and routes of adjacent cities and counties.*

Project Implementation:

The Tomlinson Park Specific Plan will provide an on-street bicycle lane along Berry Street and West Central Avenue which connect to the regional trail system in accordance with the City's Bicycle Trails Master Plan.

*Policy: In order to provide safe conditions for the riders, bicycle routes should be separated from automobile traffic when possible.*

Project Implementation:

The proposed Specific Plan incorporates Class II/on-street bicycle trails. Class II bicycle lanes will be constructed to City standards so that they do not conflict with automobile traffic.

*Policy: Destination sites, such as shopping centers, employment centers, schools, and recreational areas, should be encouraged to provide bicycle racks and/or storage lockers.*

Project Implementation:

Bike racks shall be incorporated into the proposed public park site.

*Policy: Bicycle routes should use open space corridors, utility easements, public rights-of-way along flood control channels, parks, and railroad rights-of-way wherever possible.*

Project Implementation:

The Tomlinson Park Specific Plan is consistent with the City of Brea's Bicycle Trails Master Plan and upgrade that plan by provided Class I bicycle trail on Berry Street.

*Policy: Bike routes should be constructed in accordance with County and CalTrans standards.*

Project Implementation:

The Tomlinson Park Specific Plan shall design the bike routes in accordance with County and CalTrans standards.

*Policy: The bicycle trail system should meet the needs of both the recreational and experienced bicycle rider.*

Project Implementation:

The Tomlinson Park Specific Plan bicycle trail system fully compliments the needs of both the recreational and experienced bicycle rider.

*Policy: Bicycle routes shall be included in all appropriate transportation and development projects.*

Project Implementation:

The Tomlinson Park Specific Plan incorporates an on-street bicycle lane along Berry Street and West Central Avenue.

*Policy: Traffic control devices should be provided for bicycle crossings where warranted.*

Project Implementation:

Traffic control devices for bicycle crossings shall be provided where warranted.

*Policy: Bicycle routes and trails should be maintained and reviewed periodically.*

Project Implementation:

All on-street bicycle routes that are in the public right-of-way will be maintained by the City of Brea. On-site pedestrian trails shall be maintained by the respective Homeowner's Association.

*Policy: Appropriate signs should mark all routes and trails.*

Project Implementation:

Appropriate signage will be provided to mark all routes and trails.

*Policy: The City should keep the citizens aware of the bicycle network through publication of a map which also notes safety and courtesy tips.*

Project Implementation:

The Tomlinson Park Specific Plan will not interfere with the City's efforts to keep the citizens aware of the bicycle network through publication of a map which also notes safety and courtesy tips.

*Policy: The City should actively seek funds from State, Federal, and private sources to develop and maintain bike routes and trails.*

Project Implementation:

The Tomlinson Park Specific Plan will not interfere with the City's efforts actively seek funds from State, Federal, and private sources to develop and maintain bike routes and trails.

### **7.1.3 Housing Element**

This section describes the Housing Element as it relates to the Tomlinson Park Specific Plan.

*Goal: Support and endorse the State's housing goal "... of a decent home and a satisfying environment for every Californian..."*

Project Implementation:

A primary objective of the Specific Plan is to provide a variety of housing products so that residents have the option to purchase the home of their choice: The site plan location and mix of housing sizes and lot types is unusual for Southern California. The concept is patterned after a "Traditional Neighborhood Design" (TND). This has been done to give a greater degree of variety to the street scene and avoid the look and feel of a typical subdivision.

*Goal: Conserve and improve the condition of the existing affordable housing stock.*

Project Implementation:

No residential units are currently located on the project site. Therefore, the Tomlinson Park Specific Plan will not interfere with the City's ability to conserve/improve the existing affordable housing stock.

*Goal: Identifying adequate housing sites which will be made available through appropriate zoning and development standards and with public services and facilities needed to facilitate and encourage the development of a variety of types of housing for all income groups.*

Project Implementation:

The Tomlinson Park Specific Plan proposes a total of 231 single-family residential units (the builder will have the option to build nine carriage units on the 35' x 73' lots) within three separate product types. This will allow Tomlinson Park to provide a variety of housing for several income groups.

*Goal: Assist in the development of adequate housing to meet the needs of low- and moderate-income households.*

Project Implementation:

The Tomlinson Park Specific Plan proposes a total of 231 single-family residential units (the builder will have the option to build nine rental carriage units on the 35' x 73' lots) within three separate product types. The proposed development will comply with the City of Brea's Affordable Housing Guidelines (City Council Resolution No. 93-16) for Ordinance No. 934 adopted by the City Council on March 2, 1993.

*Goal: Address and, where appropriate and legally possible, remove governmental constraints to the maintenance, improvement, and development of housing.*

Project Implementation:

The Tomlinson Park Specific Plan will not interfere with the City's ability to remove governmental constraints to housing.

*Goal: Promote housing opportunities for all persons regardless of race, religion, sex, marital status, ancestry, national origin, or color.*

Project Implementation:

Individual builders within the Tomlinson Park Specific Plan area will be required to fully satisfy all local, State, and Federal Equal Housing Opportunity guidelines and statutory requirements.

*Policy: To satisfy as much of Brea's unmet housing needs through volunteer endeavors that involve the community as a whole.*

Project Implementation:

The Tomlinson Park Specific Plan will not interfere with the City's efforts to satisfy housing needs through volunteer endeavors.

*Policy: To create a housing market that offers a reasonable housing process and rents through a steady expansion of the housing supply.*

Project Implementation:

Implementation of the Tomlinson Park Specific Plan will expand the community's housing market by 231 dwelling units, consistent with the steady expansion of the City's housing supply.

*Policy: To utilize bonding programs, when made available, to meet housing needs of the community.*

Project Implementation:

The Tomlinson Park Specific plan will not interfere with the City's ability to utilize bonding programs to meet the housing needs of the community.

*Policy: To continue to use funds available from the Housing Community Development Act to improve the existing housing stock and upgrade neighborhood conditions.*

Project Implementation:

The Tomlinson Park Specific Plan will not interfere with the City's ability to use funds from the Housing Community Development Act to improve the existing housing stock and upgrade neighborhood conditions.

*Policy: To establish a balanced approach to meeting housing needs that includes the needs of renter and owner households.*

Project Implementation:

The Tomlinson Park Specific Plan allows a maximum of nine lots to contain an accessory carriage unit which will provide additional rental opportunities within the City of Brea.

*Policy: To promote the provision of adequate housing for households with special needs including, but not limited to, large families, handicapped persons, families with children, the elderly and homeless.*

Project Implementation:

The Tomlinson Park Specific Plan provides a mix of product types, lot sizes and costs which can accommodate the varied requirements of future inhabitants. In addition, 23 lots are proposed to be single story on the 50' x 84' lots to accommodate the needs of aging in place, the elderly and the disabled. A mix of housing types is anticipated to afford greater housing opportunities to all types of households or household needs.

*Policy: To provide housing in adequate locations with convenient access to employment opportunities, community facilities and adequate services.*

Project Implementation:

Tomlinson Park is located within a largely built-out area of Brea and is proximate to existing commercial services, employment opportunities, and community facilities.

*Policy: To provide for the development of housing at densities which facilitate the ability to meet the needs of low and moderate income households.*

Project Implementation:

The Tomlinson Park Specific Plan proposes a total of 231 single-family residential units (the builder will have the option to build nine carriage units on the 35' x 73' lots) within three separate product types which will accommodate a variety of income households.

*Policy: To expand the range of homeownership opportunities.*

Project Implementation:

The Land Use Plan provides mix of housing sizes and lot types that will accommodate a range of single-family detached homes, up to nine of which on the 35' by 73' lots may include rental carriage units as a builder's option.

*Policy: To utilize the 20 percent Affordable Housing Fund to meet the rehabilitation, production and assistance needs of lower income households.*

Project Implementation:

The Tomlinson Park Specific Plan will not interfere with the City's ability to utilize the 20 percent Affordable Housing Fund to provide additional affordable housing opportunities.

*Policy: To work closely with residential project developers for purposes of addressing community housing needs.*

Project Implementation:

The Tomlinson Park Specific Plan has been developed with the City of Brea for purposes of addressing community housing needs.

*Policy: To provide additional housing opportunities for persons working in the City as economic development occurs through the year 2001.*

Project Implementation:

A range of housing densities and prices will be provided within the Tomlinson Park Specific Plan in order to help provide additional housing opportunities for persons working in the City.

*Policy: To encourage intergovernmental coordination in meeting housing needs in north Orange County through the League of California Cities and other appropriate organizations.*

Project Implementation:

The Tomlinson Park Specific Plan will not interfere with the City's housing intergovernmental coordination efforts.

*Policy: To promote the analysis of housing impacts and appropriate mitigation measures for large employment projects proposed in Brea.*

Project Implementation:

The Tomlinson Park Specific Plan consists of 231 single-family residential units, a 4.1 acre public park, and a 0.5 acre private recreational facility on the 38.8 acre site. The proposed project is not a project which provides for large employment opportunities.

*Policy: To encourage the development of a variety of housing types in Brea including mobile homes and manufactured housing.*

Project Implementation:

The Tomlinson Park Specific Plan contains a mix of housing sizes and lot types that will accommodate a range of single-family detached homes and up to nine rental carriage units (as a builder's option); however, no mobile homes or manufactured housing is included.

*Policy: To provide information to the business community on housing availability in the existing market and new residential developments.*

Project Implementation:

The Tomlinson Park Specific Plan will not interfere with the City's efforts to provide housing information to the business community.

*Policy: To monitor new office and industrial projects in terms of the number of jobs created and the place of residence of the work force.*

Project Implementation:

The Tomlinson Park Specific Plan does not contain office or industrial development.

*Policy: To monitor new housing developments to determine the place of work of Brea's residents.*

Project Implementation:

The Tomlinson Park Specific Plan will not interfere with City's ability to monitor new housing development.

**7.1.4 Open Space and Conservation Elements**

This section describes the Open Space and Conservation Elements as they relate to the Specific Plan.

*Goal: Provide a flexible and balanced open space plan which responds to existing and future development and the City's needs and ability to serve these areas.*

Project Implementation:

The Tomlinson Park property is currently used as a commercial nursery and is surrounded by development. However, the proposed project does provide additional recreational opportunities through the provision of a 4.1 (3.5 acres

net) acre public park, a 0.5 acre private recreational facility, and additional riding and hiking trail connections.

*Goal: Protect the public health and welfare of the community through identification and control of unhealthful and hazardous conditions in the City.*

Project Implementation:

The Phase 1 and Phase 2 Site Assessments include mitigation measures to ensure that potential public health threats are eliminated.

*Goal: Establish and maintain an open space system to define urban forms and reserve land for orderly, well planned urban expansion.*

Project Implementation:

The proposed project provides additional recreational opportunities through the provision of a 4.1 acre public park (3.5 acres net), a 0.5 acre private recreational facility, and additional riding and hiking trail connections.

*Goal: Provide outdoor recreation activities which are responsive to the needs of all age and socioeconomic groups.*

Project Implementation:

The Specific Plan provides a 4.1-acre (3.5 acres net) public park as well as a 0.5 acre private recreation center for a total of 4.6 acres of parkland (public and private). The 4.1-acre public park is designed to be a passive park with active turf areas at the Berry Street entry.

*Goal: Provide private and public open space opportunities by encouraging compatible multiple-use activities such as schools, parks, residential and agricultural.*

Project Implementation:

The Tomlinson Park Specific Plan includes a balanced land use distribution, including 231 single-family units, a public park, and a private recreational center. The public park will benefit the future residents of Tomlinson Park as well as existing Brea residents. The private recreational facilities include a pool, spa, and restrooms.

*Goal: Secure an open space network that is both part of the natural and urban fabric of Brea and connected to the countywide open space system.*

Project Implementation:

The public park will provide large useable areas for urban recreation and the greenbelts and pedestrian/bicycle trails will provide connections with other open space and residential areas.

*Goal: Respect the natural capability of all lands in the Brea open space study area.*

Project Implementation:

The Tomlinson Park Specific Plan area is currently developed and does not consist of natural open space. Therefore, it will not interfere with the City's efforts to respect the natural capability of all lands in the Brea open space study area.

*Policy: Encourage continued oil production with the Brea-Olinda oil field and the oil-producing areas within the planning area until such areas are appropriate for residential development sometime in the future.*

Project Implementation:

No oil wells are located within the Specific Plan area.

*Policy: Encourage agricultural uses within areas not suitable for urban development.*

Project Implementation:

The proposed project is surrounded by existing urban development on all sides and is therefore considered suitable for urban development.

*Policy: Maintain the La Vida Spa mineral water activities.*

Project Implementation:

The Tomlinson Park Specific Plan will not interfere with the La Vida Spa mineral water activities.

*Policy: Preserve public open space.*

Project Implementation:

The Tomlinson Park Specific Plan will provide 4.1-acres of public park/open space.

*Policy: Preserve major rock outcroppings as unique landmarks and visual resources to the extent possible.*

Project Implementation:

No major rock outcroppings exist within the Tomlinson Park Specific Plan area.

*Policy: Areas of high fire severity should be developed only in consideration of the potential hazard.*

Project Implementation:

There are no potential fire hazards within the Tomlinson Park Specific Plan area.

*Policy: Flood Prone areas should be managed in consideration of their potential hazard and natural resource value.*

Project Implementation:

No portion of the Specific Plan area exist within the 100-year flood plain.

*Policy: Stream courses should be preserved in their natural state as they represent a flood hazard and recreational resource, provide community identity and serve as unifying corridors in the planning area.*

Project Implementation:

The Tomlinson Park Specific Plan area contains no natural stream courses.

*Policy: Seismic and extreme slope areas should be managed in consideration of their potential hazard and natural resource value.*

Project Implementation:

No portion of the Specific Plan area contain any seismic or extreme slope areas.

*Policy: Stands of large oak trees are a unique natural and visual resource that should be managed.*

Project Implementation:

No stands of large oak trees exist on the project site.

*Policy: Areas of diverse wildlife habitat represent a natural resource and should be managed to prevent major destruction or disruption.*

Project Implementation:

The site has been previously graded and is currently a commercial nursery. Therefore, no areas of diverse wildlife habitat are expected to exist on the project site. A biological assessment will be included in the Environmental Impact Report.

*Policy: Streets with unique man-made or natural characteristics should receive special consideration as scenic routes.*

Project Implementation:

The Tomlinson Park Specific Plan does not contain streets with unique characteristics that would qualify them as scenic routes.

*Policy: Develop and enforce special standards for development which occurs within a scenic highway corridor.*

Project Implementation:

The Tomlinson Park Specific Plan area is not located within a scenic highway corridor.

### **7.1.5 Parks and Recreation Element**

This section describes the Parks & Recreation Element as it relates to the Tomlinson Park Specific Plan.

*Goal: Enhancement of the quality of life through recreation for all of Brea's citizens.*

Project Implementation:

The Tomlinson Park Specific Plan provides additional recreational opportunities including a 4.1-acre (3.5 acres net) public park which includes passive park areas with active turf areas at the Berry Street entry, and a 0.5-acre private recreation center which includes a pool, spa, and restroom facilities. In addition, bicycle lanes are located along Berry Street and a West Central Avenue.

*Goal: Provision and protection of parks and open space.*

Project Implementation:

The Tomlinson Park Specific Plan provides a 4.1-acre (3.5 acres net) public park and a 0.5-acre private recreation center.

*Goal: Orderly development and expansion of the City's recreation and park system based upon current conditions and future projections.*

Project Implementation:

Specific Plan contains a 4.1-acre (3.5 acres net) public park and a 0.5-acre private recreation center for a total of 4.6-acres of parkland (public and private). The amount and type of facilities in the public park are proposed to be at a level not typically associated with public parks. The Quimby Act requirements are exceeded with the acreage and improvements proposed.

*Goal: Attainment of financial self-sufficiency in the City's recreation and parks system.*

Project Implementation:

The Tomlinson Park Specific Plan will not interfere with the City's goal of financial self-sufficiency for park and recreation systems.

*Goal: Extension of the community's goal of active integration of civic, commercial and community life into the recreation and parks system.*

Project Implementation:

The Tomlinson Park Specific Plan will not interfere with the City's goal of community integration into the parks and recreation system.

*Goal: To provide a useful, enjoyable, safe, and efficient trail system for equestrians, bicyclers, and horseback riders.*

Project Implementation:

The Tomlinson Park Specific Plan will provide an on-street bicycle lane along Berry Street and West Central Avenue.

*Policy: Locate new park facilities in areas indicating the greatest needs.*

Project Implementation:

The Tomlinson Park Specific Plan area contains a 4.1-acre (3.5 acres net) public park and a 0.5-acre private recreation center. This new park is located in an area which is not currently served by a public park.

*Policy: Pursue land acquisition at minimum costs when additional park lands are necessary.*

Project Implementation:

Through implementation of the Tomlinson Park Specific Plan, an additional 4.1 acres (3.5 acres net) of parkland will be dedicated to the City at no cost.

*Policy: Dispose of park and recreation land that is found inappropriate and/or feasible for park and recreation uses.*

Project Implementation:

The Tomlinson Park Specific Plan will not interfere with the City's park disposition policies.

*Policy: Continue the school/park joint use concept for increased recreational resources and year-round use of these facilities.*

Project Implementation:

The Tomlinson Park Specific Plan does not contain any school facilities.

*Policy: Provide park involvement opportunities for the participation of Brea's citizens, user groups, concessionaires, commercial/industrial entities and non-profit foundations.*

Project Implementation:

The Tomlinson Park Specific Plan will not interfere with the City's provision of park involvement opportunities.

*Policy: Provide improved accessibility to park and recreational facilities for all citizens of the City.*

Project Implementation:

The proposed neighborhood park will be integrated with the surrounding neighborhoods by a system of on-street bike lanes. Accessibility for the handicapped will be provided

*Policy: Provide secure park and recreation facilities.*

Project Implementation:

The design guidelines provide recommended exterior lighting throughout the park and landscape placement patterns which encourage public safety. The restrooms have been located close to the perimeter roadway for easy surveillance. The community concept is designed so that there is residential frontage across the street from the park. This high visibility of the park activities provides additional safety and opportunities for supervision.

*Policy: Provide recreation programs in which direct and indirect costs may be recovered through enrollment fees.*

Project Implementation:

The Tomlinson Park Specific Plan does not interfere with the City's policy for recreational program cost recovery.

*Policy: Maintain park and recreation facilities for the protection of public health and safety; provide for the acceptable quality levels of play and utilize available manpower and budget resources on an equitable basis.*

Project Implementation:

The Tomlinson Park Specific Plan provides additional funding sources for park construction and maintenance of the proposed 4.1 acre (3.5 acres net) public park through builder/developer contributions.

*Policy: Protect existing public parks and open space from non-recreational uses.*

Project Implementation:

The Tomlinson Park Specific Plan does not interfere with the City's ability to protect existing parks and open areas from non-recreational uses.

*Policy: Use adjacent regional park opportunities to satisfy some of the City's recreational demands.*

Project Implementation:

The Tomlinson Park Specific Plan does not interfere with the City's policy for regional park usage.

*Policy: Explore the recreational potential of public-owned lands and utility rights-of-way.*

Project Implementation:

The Tomlinson Park Specific Plan provides trail connections to adjacent Southern California Edison (SCE) rights-of-way consistent with this policy.

*Policy: Explore funding alternatives and programs with private contributions and public resources.*

Project Implementation:

The Tomlinson Park Specific Plan provides funding sources for park construction of the proposed 4.1 acre (3.5 acres net) public park through builder/developer participation and maintenance through City contribution.

*Policy: Trails should be multi-purpose where ever possible to serve hikers, bicyclers, and horseback riders.*

Project Implementation:

The Tomlinson Park Specific Plan includes on-street bicycle lanes to be utilized by bicyclers and hikers.

*Policy: Trails should be linked with adjacent city, county, or state trail systems.*

Project Implementation:

The Tomlinson Park Specific Plan will provide on-street bike lanes along Berry Street and West Central Avenue providing connections with regional trail systems.

*Policy: Trails should provide linkages between open space and recreational facilities.*

Project Implementation:

The Tomlinson Park Specific Plan incorporates on-street bike lanes which connects open space areas to the residential areas within the project.

*Policy: Trail areas should be maintained in good condition and free of litter and debris.*

Project Implementation:

Trails within public right-of-way shall be maintained by the City. Trails within private right-of-way shall be maintained by the respective homeowner's association to assure that the trail areas are free of litter and debris.

*Policy: New Development should provide linkages to the master trail system where appropriate and/or where designated.*

Project Implementation:

The Tomlinson Park Specific Plan will provide on-street bike lanes along Berry Street and West Central Avenue with connections to regional trail systems.

*Policy: The trail designs should be flexible and site-specific to minimize the impact on adjacent property, and fragile habitats.*

Project Implementation:

The trail system in the Tomlinson Park Specific Plan is designed to minimize the impact on adjacent property. There are no fragile habitats on or adjacent to the project site.

*Policy: The trail system should provide both short and long hikes/rides and serve both beginning and advanced hikers/riders.*

Project Implementation:

The Tomlinson Park Specific Plan includes on-street bike lanes that accommodates beginning and advanced riders.

*Policy: The City should utilize citizen volunteers to assist in the development, maintenance, and operation of trails and facilities.*

Project Implementation:

The Tomlinson Park Specific Plan will not interfere with the City's efforts to utilize citizen volunteers to assist in the development, maintenance, and operation of trails and facilities.

*Policy: The City should keep the citizens aware of the trail system through publication of a trails map which also notes safety and courtesy tips.*

Project Implementation:

The Tomlinson Park Specific Plan will not interfere with the City's efforts to keep the citizens aware of the trail system through publication of a trails map which also notes safety and courtesy tips.

*Policy: The City should seek adequate funding for construction and maintenance of the local trail system.*

Project Implementation:

The Tomlinson Park Specific Plan will not interfere with the City's efforts to seek adequate funding for construction and maintenance of the local trail system.

*Policy: In order to provide safe conditions for riders and hikers, the trails should be separated from automobile traffic when possible.*

Project Implementation:

The proposed Specific Plan incorporates Class on-street bicycle lanes. Class II bicycle lanes will be constructed to City standards so that they do not conflict with automobile traffic.

*Policy: Appropriate signs should mark all trails.*

Project Implementation:

Appropriate signage will be provided on all on-site trail connections.

*Policy: Trail entrances should be designed to prevent unwanted trail usage by motorized vehicles.*

Project Implementation:

The Tomlinson Park Specific Plan trail entrances will include preventive measures to eliminate the unwanted use of motorized vehicles.

*Policy: The City should encourage new developments to provide additional trails to connect to the Riding and Hiking Master Plan.*

Project Implementation:

The Tomlinson Park Specific Plan will not interfere with the City's efforts to encourage new developments to provide additional trails to connect to the Riding and Hiking Master Plan.

### **7.1.6 Safety Element**

This section describes the Safety Element as it relates to the Tomlinson Park Specific Plan.

*Goal: Provide a safe and nonhazardous environment for the Brea community.*

Project Implementation:

Phase 1 and Phase 2 Environmental Assessments have been performed for the site which identify all contaminated areas located on-site. The Phase 1 and Phase 2 Site Assessments include mitigation measures to ensure that potential public safety threats are minimized

*Goal: Minimize the potential for loss of life and property in the event of a seismic event.*

Project Implementation:

The City of Brea Building Code provides seismic requirements to minimize any structural damage during a seismic event. The Building Code requirements are incorporated into the Tomlinson Park Specific Plan.

*Policy: To identify seismic and other geologic hazards.*

Project Implementation:

The Tomlinson Park Specific Plan area does not contain any seismic or other geologic hazards.

*Policy: To establish requirements for adequate construction in geologically hazardous areas.*

Project Implementation:

The Tomlinson Park Specific Plan is not located within a geologically hazardous area.

*Policy: To insure continuity of vital services following an earthquake.*

Project Implementation:

The Tomlinson Park Specific Plan will not interfere with the City's ability to ensure the provision of vital services following an earthquake.

*Policy: To participate in regional emergency response planning.*

Project Implementation:

The Tomlinson Park Specific Plan will not interfere with the City's efforts relating to regional emergency response planning.

*Policy: To establish evacuation routes on a site specific basis pursuant to Fire Department policies.*

Project Implementation:

The Tomlinson Park Specific Plan will conform to the requirements of any established evacuation routes.

*Policy: To require a road with two 12-foot lanes (plus parking) for emergency access per requirement of the Brea Fire Department.*

Project Implementation:

All roadways internal to the Tomlinson Park Specific Plan area will provide for adequate emergency access. An Emergency Vehicle Access ramp will be included at the southwest corner of the project to allow for an additional emergency-only entry point on West Central Avenue.

**7.1.7 Noise Element**

This section describes the Noise Element as it relates to the Tomlinson Park Specific Plan.

*Goal: To minimize noise impacts to the people who live and work in Brea.*

Project Implementation:

Tomlinson Park utilizes landscaped setbacks and walls to minimize noise impacts from adjoining arterial highways.

*Goal: To control noise in Brea for the protection of the health and well being of its current and future citizens.*

Project Implementation:

Tomlinson Park consists of residential and recreational uses only and does not propose uses which generate high noise levels.

*Goal: To maintain or reduce noise levels in noise sensitive areas.*

Project Implementation:

The Tomlinson Park Specific Plan will implement the mitigation measures recommended in the EIR to minimize noise impacts.

*Policy: To reduce transportation noise by imposing traffic restrictions where necessary.*

Project Implementation:

The Tomlinson Park Specific Plan is not expected to significantly increase traffic volumes on adjacent arterials and, therefore is not expected to produce significant noise volumes.

*Policy: To identify potential land use conflicts and to determine where acoustical analysis/mitigation studies will be necessary through the periodic use of noise contour maps and noise impact tables.*

Project Implementation:

The Tomlinson Park Specific Plan EIR recommendations for noise mitigation will be implemented.

*Policy: To evaluate the impacts of specific projects in the context of the cumulative noise impacts presented in the noise contour maps and noise impact tables.*

Project Implementation:

The Tomlinson Park Specific Plan EIR will contain a noise analysis, including recommended mitigation measures, to minimize noise impacts.

*Policy: To incorporate noise control techniques, as appropriate, in housing rehabilitation programs.*

Project Implementation:

The Tomlinson Park Specific Plan proposes to locate landscaped setbacks and sound attenuation walls along the site's border with Berry Street and West Central Avenue.

*Policy: To require project applicants to reduce or buffer noise generated by a proposed development if it would otherwise create an unsatisfactory noise environment for adjacent properties.*

Project Implementation:

The Specific Plan guidelines and development regulations provide the requirements on setbacks, landscaping, walls, etc., to ensure that adjacent land uses will not impact one another and will be adequately screened and/or buffered for noise reduction where necessary.

*Policy: To consider noise emissions when purchasing City equipment and services.*

Project Implementation:

The Tomlinson Park Specific Plan will not interfere with the City's policy related to noise and equipment/service purchases.

**7.1.8 Growth Management Element**

This section describes the Growth Management Element as it relates to the Tomlinson Park Specific Plan.

*Goal: To reduce traffic congestion.*

Project Implementation:

The Tomlinson Park Specific Plan EIR will contain a traffic analysis, including mitigation measures, to minimize the traffic impacts of the proposed project.

*Goal: To ensure that adequate transportation facilities are provided for existing and future residents of the City.*

Project Implementation:

The EIR for the Tomlinson Park Specific Plan will contain a traffic analysis, including mitigation measures, to ensure the availability of adequate transportation facilities for potential circulation system impacts that result from the Tomlinson Park project.

*Policy: The Level of Service standard for traffic circulation in the City shall be LOS "D" for intersections under the sole control of the City.*

Project Implementation:

The Tomlinson Park Specific Plan shall comply with the provisions of the County Congestion Management Program and Growth Management Plan.

*Policy: In order to achieve LOS "D", it shall be the City's policy that within three years of the issuance of the first building permit for a development project, the necessary improvements to the transportation facilities identified as adversely impacted, shall be completed.*

Project Implementation:

The Tomlinson Park Specific Plan shall comply with the City's policy regarding achievement of LOS "D", where applicable.

*Policy: All new development shall pay for or implement its fair share of the street improvement costs associated with that development including regional traffic mitigation.*

Project Implementation:

The EIR for the Tomlinson Park Specific Plan will contain mitigation measures to ensure that the project pay for or implement its fare share of street improvements.

*Policy: New development in the City shall be required to establish a Development Phasing Program which phases approval of development by linking issuance of building permits for the appropriate portion of the development plan (by phase and/or number of units) to roadway improvements required to achieve the appropriate Level of Service in one or more of the following three ways determined during the development approval process: 1) linkage to construction of the designated improvement(s) by the developer, 2) linkage to construction of the designated improvement(s) by others, or 3) linkage to payment of the projects share of the funding for designated improvement(s) at a time certain designated by the City. The phasing plan shall include an overall build out plan which can demonstrate the ability of the infrastructure to support the planned development.*

Project Implementation:

Required roadway improvements will be completed prior to project completion.

*Policy: The City shall monitor the implementation of the Development Phasing Program for each of its new development projects on an annual basis and prepare a report which indicates the status of development approval and the required traffic improvements and the relationship between them.*

Project Implementation:

The Tomlinson Park Specific Plan does not interfere with the City's ability to monitor the project's phasing.

*Policy: The City shall participate in Inter-jurisdictional Planning Forum(s) as established by the Regional Advisory Planning Council.*

Project Implementation:

The Tomlinson Park Specific Plan does not interfere with the City's policy a participation in Inter-jurisdictional Planning Forum(s).

*Policy: A seven year Capital Improvement Program shall be adopted and maintained in conformance with the provisions of Measure M for the purpose of maintaining the Levels of Service established in this Element.*

Project Implementation:

The Tomlinson Park Specific Plan does not interfere with the adoption or maintenance of the City's Capital Improvement Program.

*Policy: Recognizing its role as one of North Orange County's major employment centers, and the fact the City is about 98% built out, it is the City's policy to strive toward achieving a balance of land use whereby residential, commercial, industrial and public uses are proportionally balanced.*

Project Implementation:

The Tomlinson Park Specific Plan includes a total of 231 residential units within a job-rich area of southern California.

*Policy: The City shall promote traffic reduction strategies through the measures adopted by its Transportation Demand Management Ordinance.*

Project Implementation:

The Tomlinson Park Specific Plan shall comply with the City's Transportation Demand Management Ordinance.

### **7.1.9 Historic Resources Element**

This section describes the Historic Resources Element as it relates to the Tomlinson Park Specific Plan.

*Goal: Preserve historically significant landmarks and/or sites, individual structures, objects, and neighborhoods and encourage appropriate rehabilitation.*

Project Implementation:

The EIR for the Tomlinson Park Specific Plan will contain a Cultural Resources analysis, including mitigation measures, to avoid any impacts to cultural resources as a result of the proposed project.

*Goal: Promote a greater sense of historic and cultural awareness.*

Project Implementation:

The Tomlinson Park Specific Plan does not interfere with the promotion of a greater sense of historic and cultural awareness.

*Goal: Encourage public and private participation in the preservation of Brea's history.*

Project Implementation:

The Tomlinson Park Specific Plan does not interfere with the encouragement of public and private participation in the preservation of Brea's history.

*Goal: Develop an understanding that today's activities becomes tomorrow's history, and develop a sensitivity to help guide future generation in preservation.*

Project Implementation:

The Tomlinson Park Specific Plan does not interfere with the development of an understanding that today's activities becomes tomorrow's history, and develop a sensitivity to help guide future generation in preservation.

*Goal: Establish a historic museum/interpretive center.*

Project Implementation:

The Tomlinson Park Specific Plan does not interfere with the establishment of a historic museum/interpretive center.

*Policy: Historically significant structures are irreplaceable resources. Preservation should be a key consideration.*

Project Implementation:

The EIR for the Tomlinson Park Specific Plan will contain a Cultural Resources analysis, including mitigation measures, to avoid any impacts to cultural resources as a result of the proposed project.

*Policy: Historic districts should be created for areas with concentration of historically and architecturally significant structures.*

Project Implementation:

The Tomlinson Park Specific Plan area does not contain historically and architecturally significant structures.

*Policy: Individually significant structures should be designated.*

Project Implementation:

The Tomlinson Park Specific Plan area does not contain any individually significant structures.

*Policy: A historic review process should be incorporated in the development review process.*

Project Implementation:

The Tomlinson Park Specific Plan does not interfere with the establishment of a historic review process during the development review process.

*Policy: Structures eligible for listing in the National Register of Historic Places and/or the State Historic Landmarks, the County, and/or the local historic register should not be demolished until all reasonable and feasible alternatives for saving them have been explored.*

Project Implementation:

The Tomlinson Park Specific Plan area does not contain any structures eligible for listing in the National Register of Historic Places and/or the State Historic Landmarks, the County, and/or the local historic register.

*Policy: All development and rehabilitation affecting historic structures, landmarks, and objects should be reviewed in terms of both site and building design.*

Project Implementation:

The EIR for the Tomlinson Park Specific Plan will contain a Cultural Resources analysis, including mitigation measures, to avoid any impacts to cultural resources as a result of the proposed project.

*Policy: New development in proximity to designated historic structures and neighborhoods should be designed to ensure compatibility with the characteristics of the designated historic structures.*

Project Implementation:

No historic structures exist in the immediate project vicinity.

*Policy: Active resident participation in the maintenance of the quality and character of the historic neighborhoods should be encouraged.*

Project Implementation:

The Tomlinson Park Specific Plan does not interfere with the encouragement of active resident participation in the maintenance of the quality and character of the historic neighborhoods.

*Policy: Recycling and re-use of existing historic structures through incentive programs should be encouraged.*

Project Implementation:

The Tomlinson Park Specific Plan area does not contain any existing historic structures.

*Policy: Funding alternatives for rehabilitation and restoration of historic structures should be developed.*

Project Implementation:

The Tomlinson Park Specific Plan will not interfere with the development of Funding alternatives for rehabilitation and restoration of historic structures.

*Policy: Preservation of archaeological sites in the Canyon areas should be sought.*

Project Implementation:

The Tomlinson Park Specific Plan is not located in a Canyon area.

**7.2 FINDINGS**

1. The proposed Planned Development is consistent in intensity and character with the City's adopted General Plan, as amended.
2. Reasonable alternatives to the plan and their implications have been considered.
3. The scope and depth of environmental and policy analysis are commensurate with the level of detail contained in the plan and the specificity of land use entitlement its adoption authorizes.
4. Implementation of the Specific Plan, ensures that concerns identified at this level of planning are resolved as part of the more detailed Site Plan review, which must be completed before private development may proceed.
5. Administration of the plan is thoroughly integrated into the City's development processing system.
6. All subjects required in a Specific Plan by the California Government Code and applicable City ordinances are appropriately and adequately covered.
7. Adequate time and opportunities have been afforded interested organizations and members of the public to comment on, or propose changes to, the plan if they so desired.
8. The plan and its policies will be used to guide development in the City and shape all subsequent land use entitlements for the Specific Plan Area.

### 7.3 DEFINITIONS

**Arterial Roads** -- Shall mean those roadways depicted on the City of Brea's Master Plan of Arterial Highways.

**Carriage Units** -- Shall mean accessory residential rental units located on a maximum of nine of the 35' x 73' lots to be constructed above the garage.

**Gross Acre** -- Shall mean the entire land area within the Specific Plan boundary measured to the centerline of adjacent streets and including collector and local roads internal to the Specific Plan.

**Net Acre** -- Shall mean the entire land area within the Specific Plan boundary measured to the right-of-way of adjacent streets and including collector and local roads internal to the Specific Plan. Net shall also mean the gross area minus the public park area, as noted in Table 2-1.

**Pedestrian Link** -- Shall mean sidewalks and trails designed to promote pedestrian access, to recreational facilities, residential areas, and the County trail system.

**Single-Family Detached Housing** -- Shall mean one family not sharing a residential unit with another family. The house is not attached to any other home by one or more walls.

**Tomlinson Park Specific Plan Area** -- Shall mean those parcels under ownership of the Tomlinson Trust, as depicted on Exhibit 2-2, Vicinity Map, and legally described in Section 7.4.

**Traditional Neighborhood Design** -- Shall mean incorporation of Traditional Neighborhood Design techniques including usable porches, livable front yards, rear loaded garages, "pedestrian friendly" street layouts, parks, etc.

#### 7.4 LEGAL DESCRIPTION

The land referred to in this Report is situated in the State of California, County of Orange, and is described as follows:

##### PARCEL 1:

The west 20 acres of the southeast quarter of the southeast quarter of Section 3, Township 3 South, Range 10 West, in the Rancho San Juan Cajon De Santa Ana, in the City of Brea, County of Orange, State of California, as shown on a map recorded in Book 51, Page 7 of Miscellaneous Maps, Records of Orange County, California.

Excepting therefrom one-half of any and all oil, gas or other hydrocarbon substances in, on, under, or produced, saved or sold from the above described property for a period of 25 years, as reserved by Wilbur J. Cox and Wife, by Deed recorded June 22, 1950 in Book 2030, Page 417 of Official Records.

##### PARCEL 2:

The east 22.26 acres of the southeast quarter of the southeast quarter of Section 3, Township 3 South, Range 10 West, in the Rancho San Juan Cajon De Santa Ana, in the City of Brea, County of Orange, State of California, as shown on a map recorded in Book 51, Page 7 of Miscellaneous Maps, Records of Orange County, California.

Excepting the east 50 feet thereof.

Also excepting therefrom one-half of any and all oil, gas or other hydrocarbon substances in, on, under, or produced, saved or sold from the above described property for a period of 25 years, as reserved by Wilbur J. Cox and Wife, by Deed recorded June 22, 1950 in Book 2030, Page 417 of Official Records.

The estate or interest in the land herein after described or referred to covered by this Report is:

Title to said estate or interest at the date hereof is vested in:

Francis C. Tomlinson and Marguerite K. Tomlinson, Co-Trustees under Trust Agreement Dated June 24, 1976 by Francis C. Tomlinson and Marguerite K. Tomlinson, as settlors, as to an undivided 91.255% interest; and

William Morton Tomlinson, a married man, as his separate property, as to an undivided 1/11th interest;

Frank Neeld Tomlinson, a married man, as his separate property, as to an undivided 1/11th interest;

Frances Tomlinson Boothe, a married woman, as her separate property, as to an undivided 1/11th interest;

Steven Clyde Boothe, an unmarried man, as his separate property, as to an undivided 1/11th interest;

Frances Tomlinson Boothe, Trustee for Robert Francis Boothe, under declaration of trust dated May 2, 1972, as to an undivided 1/11th interest;

Frances Tomlinson Boothe, Trustee for Allen Bruce Boothe, under declaration of trust dated May 2, 1972, as to an undivided 1/11th interest;

William Morton Tomlinson, II, an unmarried man, as his separate property, an undivided 1/11th interest;

William Morton Tomlinson, Trustee for Kenneth Francis Tomlinson, under declaration of trust dated May 2, 1972, as to an undivided 1/11th interest;

William Morton Tomlinson, Trustee for Thomas Grant Tomlinson, under declaration of trust dated May 2, 1972, as to an undivided 1/11th interest;

Frank Neeld Tomlinson, Trustee for John Allen Tomlinson, under declaration of trust dated May 2, 1972, as to an undivided 1/11th interest;

Frank Neeld Tomlinson, Trustee for Frank Neeld Tomlinson, Jr., under declaration of trust dated May 2, 1972, as to an undivided 1/11th interest;

All as tenants in common, as to an undivided 8.745% interest.